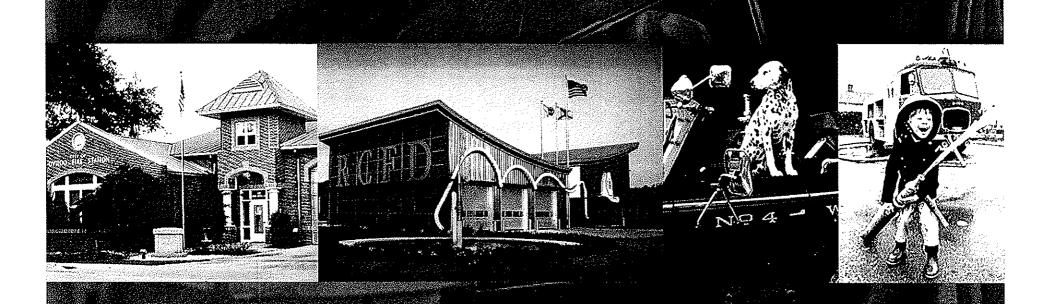
# SUMTER COUNTY FIRE AND RESCUE STATIONS



RFQ 138-0-2009 / AT



- Team
- Experience
- Schedule / Process
- Quality Control
- Construction Administration
- Budget / Cost Control
- Fire Station Design
- Case Study
- Concluding Remarks







Team



#### BAKER BARRIOS ARCHITECTS, INC.

Carlos Barrios, AIA Principal-in-Charge / QA / QC

Mike Houseman, AIA, LEED AP Project Manager

> Shanna Hanson, NCIDQ Interior Designer

distriction all continues

MedianicaWEleginesWillimbing

Brian Hessinger, PE, LEED AP Mechanical Engineer

> David Green, PE Electrical Engineer

Phil Rohm, Sr Sr. Plumbing Engineer Shiftmaters of

Structural Engineering

Dan Engebretson, PE Project Manager Structural Engineer Ternoma (Resonal & Constitue

Technology and Low-Voltage

Larry J. Trobough, RCDD Technology Manager entrality of the second

Civil Engineering & Surveying

Donald A. Griffey, PE Project Manager

George S. Horton, PE Civil Engineering



is amended for

# **Fire Stations**



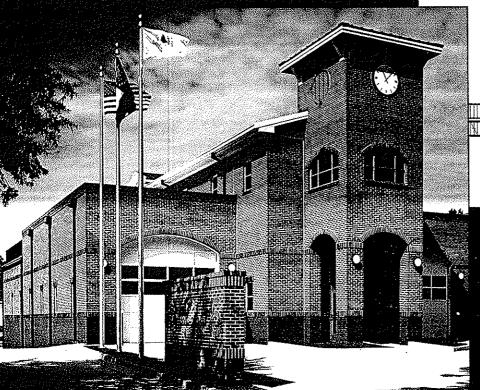


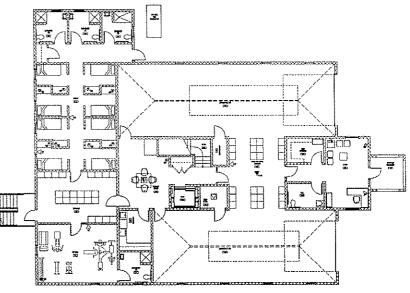


### Spelience fire stations

### Cobb County Fire Station 5

- •Two Story Prototype
- 9,600 SF
- \$2.4 million total construction cost





"Your firm has provided extraordinary architecture and interior design services for the Cobb County Fire Station 5 project. We have thoroughly enjoyed the collaborative design process and the degree of personal attention and service we have received from your firm."

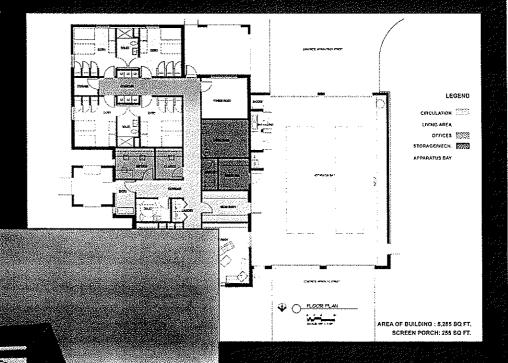
Allen Kronenberger Property Manager Cobb County Property Management



### **Sections** fire stations

### Jacksonville Beach Fire Station 2

- One Story Fire Station5,540 SF\$701,874 total construction cost



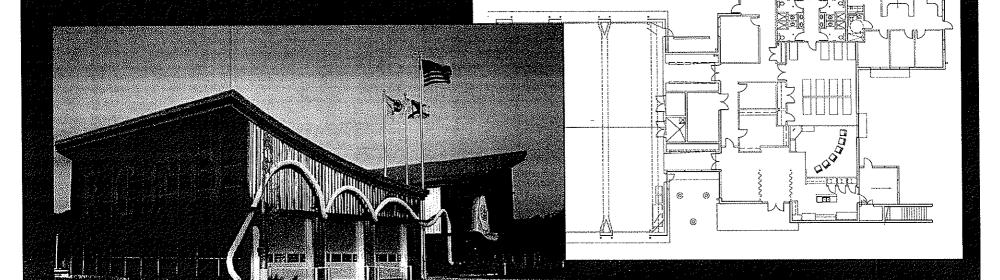




### fire stations

## Reedy Creek Fire Station 4 & Emergency Services

- One Story Fire Station19,468 SF
- \$3.5 million total construction cost







### fire stations

# Orange County Fire Station 84

• Two Bay Covered Apparatus Structures

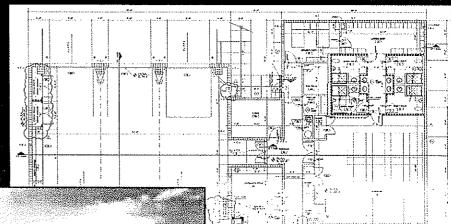




## Experience: fire stations

# Receiv Crook Fire Station 2

- One Story Fire Station
  10,000 SF
  \$1.04 million total construction cost

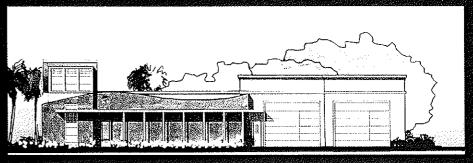


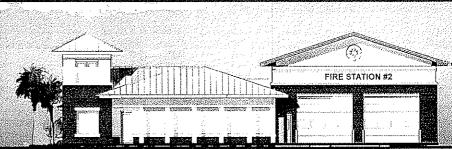


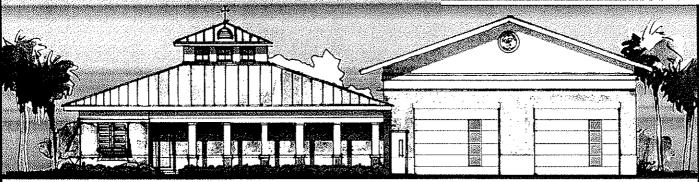


### fire stations

# Prototype Studies



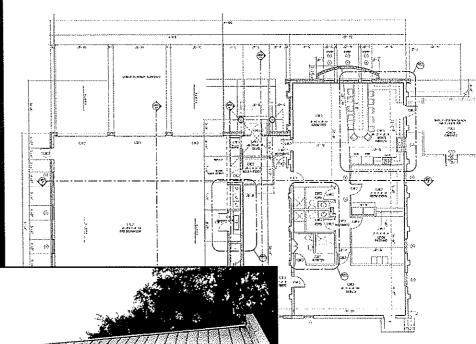






## **Experience** fire stations

- One Story Fire Station
  10,000 SF
  \$1.04 million total construction cost







# Renovations





### | xperience renovations

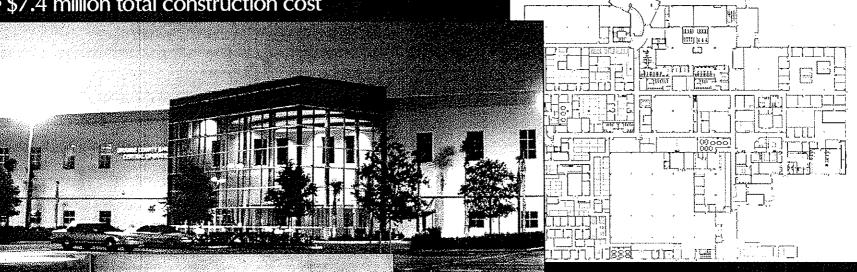
# Orange County Sheriff's Complex

• Two Story Emergency Operations / Sheriff's Complex

• 200,000 SF

• \$7.4 million total construction cost

Turonagay yand



"During all three phases we have been able to rely on Baker Barrios Architects to develop solutions to our space problems and provide us with functional and attractive space to serve the needs of the Citizens and guests of Orange County."

Kevin Beary Former Orange County Sheriff

### renovations

### 250 Park Avenue

- Six Story Mixed Use Office Complex120,000 SF
- \$6.5 million total construction cost





**Excellence in Construction Award Associated Builders Contractors** 

Judges Award Southeast Construction Magazine



## Imperience renovations

### Cornerstone Renovation

- Four Story Mixed Use Commercial
  94,800 SF
  \$2.1 million total construction cost







# Workshops

### A Collaborative Approach:

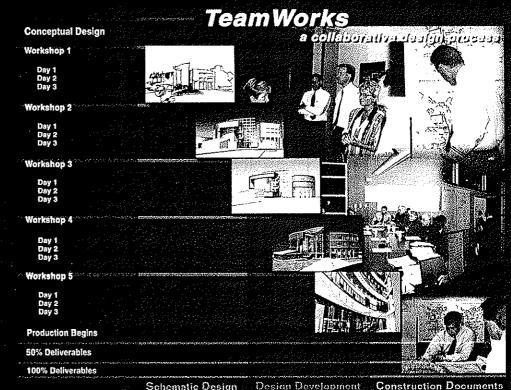
- Includes a Series of Workshops
- Interactive Sessions involving all stakeholders

### Goals:

- Discuss "What will Make These Projects A Success?"
- **■** Confirm Program & Owner Requirements
- Discuss Existing Conditions & Utilities
- Review and Discuss Budget

### Deliverables:

- Building Programs
- Site Plan & Analysis
- Design Documents
- Cost Estimates







# Workshops

**Schematic Workshop - Day One** 

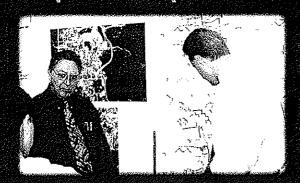
8:00 am - 11:00 am



Project Kickoff!

Identify keys to a successful project Review Program for all four facilities Prepare master list of program spaces for each fire station Confirm Schedule & Deliverables Review project budget

12:00 pm - 5:00 pm



Design Team Work Session Develop Concept Plans & Diagrams

Summarize program information
Prepare site analysis
Develop Exterior Elevations



# Workshops

**Schematic Workshop - Day Two** 

8:00 am - 10:00 am

What We've Learned!

Review Site Analysis Review Program Information Review Initial Concept Plans Comparison of Program to Budget

10:00 am - 2:00 pm

Design Team Work Session

Refine Program & Incorporate Comments Revise Concept Plans and Diagrams

2:00 pm - 5:00 pm

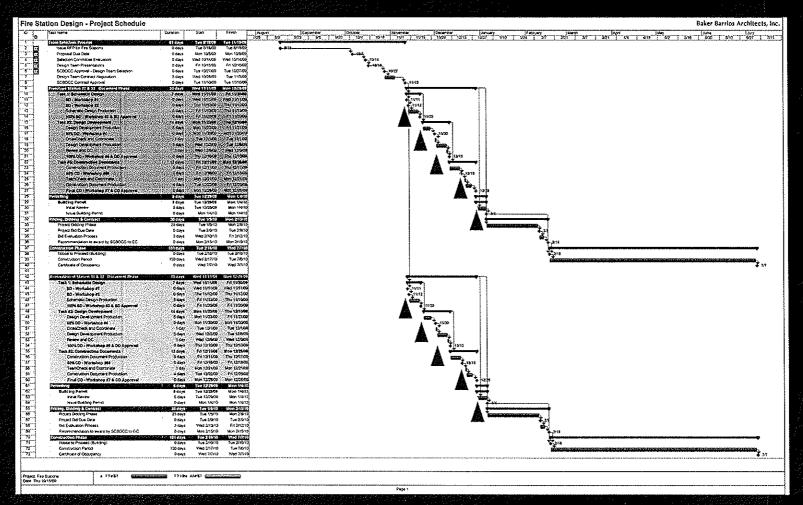


**Building Committee Session** 

Review Revised Concepts Finalize Program Confirm Direction







Six Week Design Process!





- Architectus is with Shighenical, (HVAC and Piphog) Architectus is with Plumbing. (H & O Yosher, Benduny and Sto Architectus is with Pick Protection.

# Six Keys to Quality and Checking:

- 1. Create Workplan and cartoon set
- 2. Comprehensive checklists
- 3. Office standards and lessons learned
- 4. TEAM-CHECK (REDI-CHECK)
- 5. Independent review
- 6. Empowerment and accountability of Project Manager and each team member



# 

co: Prepare Reports

Scometal Log (r\_sk\_0))

() Request and Answer Log (r\_request\_0))

() Submitted Log by Bas in Court (r\_sk\_0))

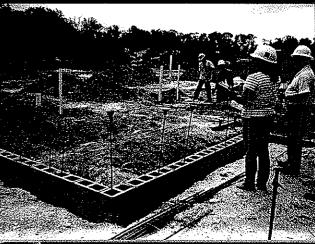
No Data Avadable

### Actions rat

View All Actions

# "Hands On" Approach









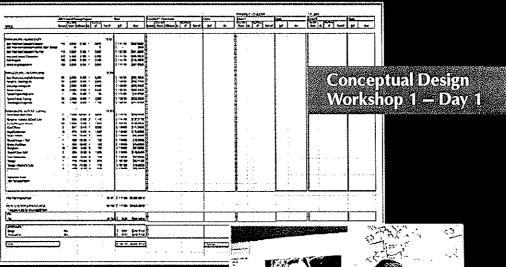
Construction Administration

# Proactive





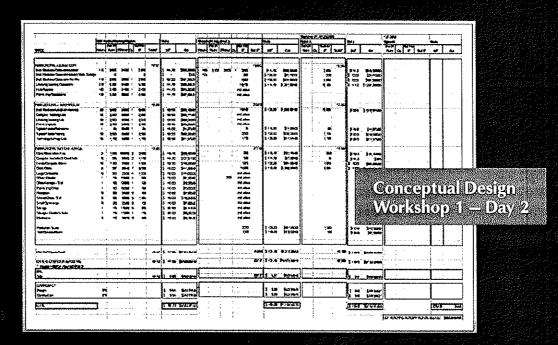
Techniques Used During the Design Process
 Approach to Controlling the Project Budget
 Keeping Lines of Communication Open Regarding Budget



- Objectives for Charrette
- Identify Keys to Successful ProjectPrepare Master List of Program Spaces
- Interview User Groups
- Discussion About Master Plan Objectives
- Schedule
- Review Project Budget







#### **Planning Committee for Building**

- Review Site Analysis
- Review Program Information
- Review Functional Relationship Diagram

### **Design Team Work Session**

- Refine Program

#### **Planning Committee for Building**

- Resolve List/Size of Building Program
- Comparison to Budget

### **Design Team Work Session**

- Develop Master Plan Concept



# Budget Cost Connection

i Experience		
Project Budget	Project Size	Cost / SF
\$701,874	5,540 SF	\$126.69/SF
\$2,400,000	9,600 SF	\$250/SF
\$3,500,000	19,468 SF	\$179.78/SF
\$1,004,000	10,000 SF	\$100.40/SF
Stations		
Project Budget	Project Size	Cost / SF
\$1,135,000	6,500 SF	\$174.61/SF
\$1,135,000	6,500 SF	\$174.61/SF
\$332,000	5,850 SF	\$56.75/SF
\$352,000	5,355 SF*	\$65.73/SF
	Project Budget  \$701,874  \$2,400,000  \$3,500,000  \$1,004,000  \$1,004,000  Project Budget  \$1,135,000  \$1,135,000  \$332,000	Project Budget         Project Size           \$701,874         5,540 SF           \$2,400,000         9,600 SF           \$3,500,000         19,468 SF           \$1,004,000         10,000 SF           Size tons         Project Size           \$1,135,000         6,500 SF           \$1,135,000         6,500 SF           \$332,000         5,850 SF



# **Design Guidelines for Success**



ORANGE COUNTY FIRE / RESCUE DIVISION

Design / Build Criteria

PROTOTYPE FIRE STATION





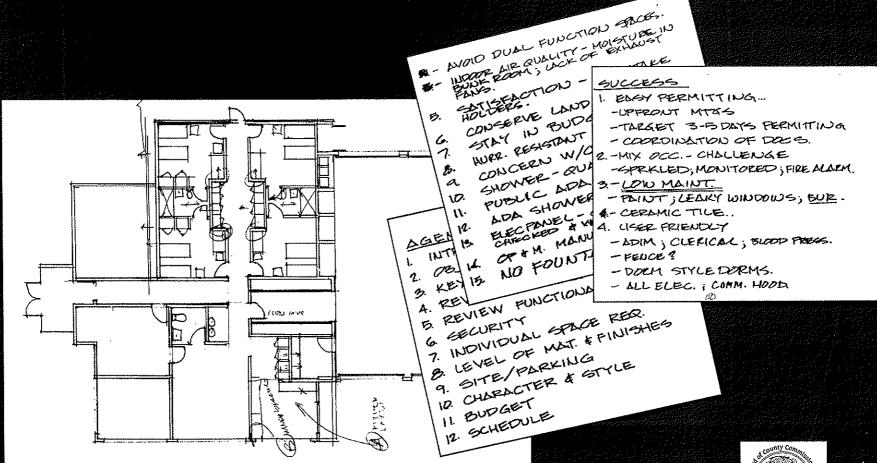


# **Jacksonville Beach Fire Station 2**





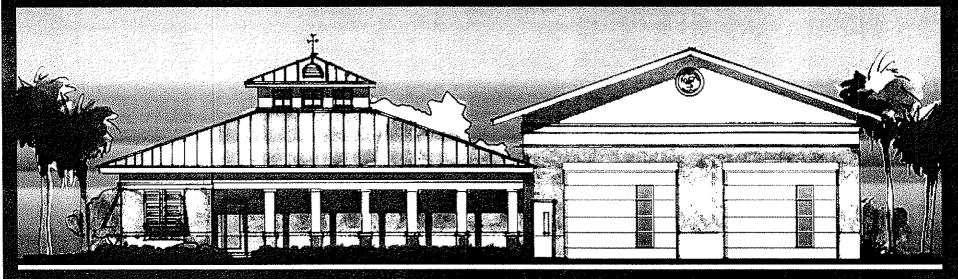
### Jacksonville Beach Fire Station 2

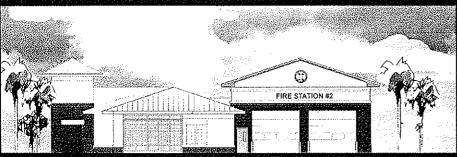


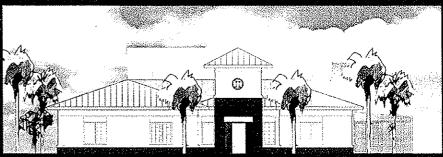


# Case Study:

## Jacksonville Beach Fire Station 2

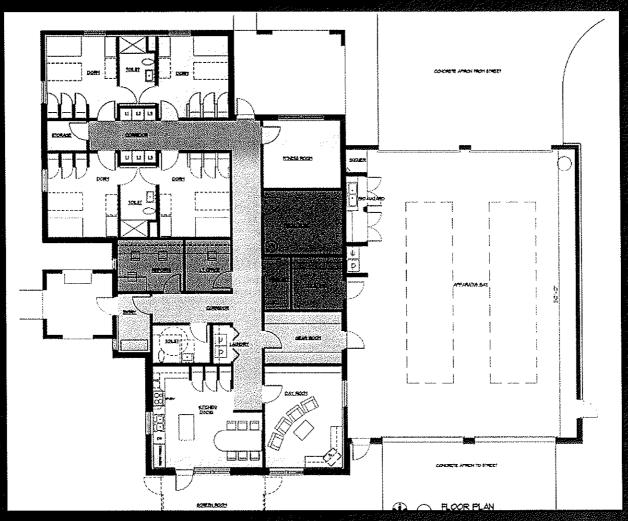








# Jacksonville Beach Fire Station 2





Carcledius Rewist

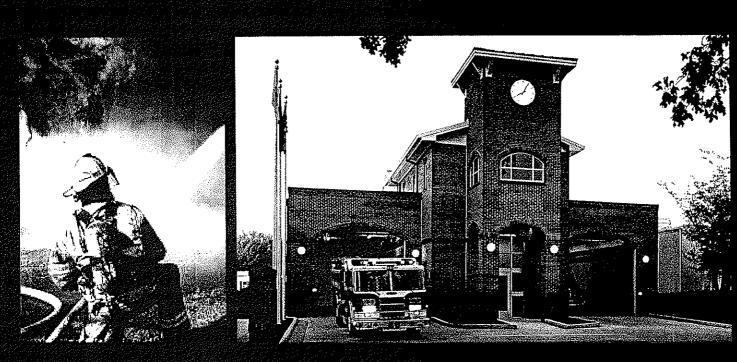
"Team is Ready to Go!"

"Budget Oriented"

"Client First" Approach

"Can Do" Attitude

"Our Business is Service"











#### ARCHITECTURE INTERIOR DESIGN

#### ORLANDO

189 S. Orange Avenue Suite 1700 Orlando, FL 32801 Tel: 407.926.3000 Fax: 407.926.3390 AA0002981

#### SPECIALIZED MARKETS

Commercial
Corporate
Education
Entertainment
Health Care
Hospitality
Industrial
Mixed-use
Retail

#### WEB SITE

www.bakerbarrios.com

ORLANDO

TAMPA

ATLANTA

#### **Table of Contents**

#### A. Statement of Interest

Letter of Interest RFQ Cover Page Proposal Form Vendor's Certification Statement of Terms and Conditions Drug Free Workplace Certification Form Conflict of Interest Disclosure Form

#### B. Firm Profile: Form 1

State of Florida Professional Regulation License State of Florida Corporate Charter Insurance Certificates

C. Team Composition: Form 2

D. Lists of Outside Key Consultants/Associates: Form 3

E. Location: Form 4

F. Illustrative Work: Form 5

G. Volume of Work: Form 6

H. Additional Information: Form 7

Tab A



#### **Architects**

October 5, 2009

Ms. Amanda Taylor Budget & Purchasing Department Board of Sumter County Commissioners 910 North Main Street Bushnell, Florida 33513

Re: A/E Design Services for Sumter County Fire and Rescue Stations, RFQ 138-0-2009/AT

Dear Ms. Taylor and Selection Committee Members:

Baker Barrios Architects, Inc. is very pleased to submit our qualifications for design services for the Sumter County Fire and Rescue Stations.

Project Understanding... Our team understands that the Sumter County fire stations - #31 at Wildwood, #32 at Oxford, #33 at Coleman and #22 at West Bushnell – each have unique needs and requirements to fulfill. The Wildwood and Oxford stations are in need of renovation and expansion and the Coleman and West Bushnell fire stations will be new construction. With this economy we know how important it is for your project to come in below the budgeted amount. The design team will manage and design the fire stations with utmost regard to cost, schedule and quality control. Our firm and technical staff are stringent in our compliance of current local, state, and federal codes, ADA and life safety issues. Also, we are intimately familiar with the general contractor method.

Our unique design services for the Fire Services Department include:

- Efficient, safe circulation
- Compliance to Budget and Schedule
- Design for staff and operational efficiency
- Durable, economical and attractive materials
- 70% of our practice involves addition and renovation/ remodeling
- Fresh creative thinking and award winning solutions

Project Experience... Baker Barrios Architects, Inc. has a proven track record designing state-of-the-art facilities equipped to handle emergencies and to address challenges and opportunities of the future. Baker Barrios Architects and our sub-consultants bring to this project a breadth of current and recent similar experience in the planning and design of Fire Stations and Prototype Designs. We enjoyed a successful working relationship with the City of Oviedo on Fire Station No. 2, which was the result of the conversion and renovation of a Historic building into a 10,000 SF Fire Station with three drive-thru bays. Also, we completed a design / build project for the City of Jacksonville. The new 24 hour Fire Station house is equipped to handle all emergencies and is designed as living quarters with a kitchen, dining room, dorms, offices and a fitness room.

ARCHITECTURE INTERIOR DESIGN

#### **ORLANDO**

189 S. Orange Avenue Suite 1700 Orlando, FL 32801 Tel: 407.926.3000 Fax: 407.926.3390 AA0002981

#### SPECIALIZED MARKETS

Commercial
Corporate
Education
Entertainment
Health Care
Hospitality
Industrial
Mixed-use
Retail

#### WEB SITE

www.bakerbarrios.com

ORLANDO

TAMPA

ATLANTA

Ms. Amanda Taylor Board of Sumter County Commissioners Re: RFQ 138-0-2009/AT October 5, 2009 Page 2 of 2

Additional relevant experience includes: Cobb County Fire Station No. 5 with Ingenuity Engineers as the MEP firm on the team; Fire Station No. 2 for the Reedy Creek Improvement District; Fire Station Prototype for Orange County that involved preparing Design and Specification Criteria as a basis of design and planning of all future Fire Stations for Orange County. Our renovation and conversions of fire stations include the re-skinning of Orange County Fire Station #71 that upgraded a 30-year old metal structure.

Baker Barrios Architects, Inc. will meet Sumter County Government's objectives and expectations in the design and construction of the four fire stations. Baker Barrios Architects has comprised a solid team of consultants that have been selected for their work on similar projects. Our workload is such that we can hit the ground running upon your notice to proceed. BBA's collaborative approach to design and delivery has been proven to maximize design quality, meet budget and schedule mandates.

Baker Barrios Architects, Inc. is a service and client oriented firm. In consort with our corporate philosophy, "Our Business is Service," we believe a successful project is one that meets the client's goals and expectations, is functionally and economically efficient, instills pride and adds value to those who own, occupy and visit. I believe you will find us to be team players, responsive, creative and committed to quality.

Baker Barrios Architects, Inc.

Mike Houseman, AIA, LEED AP Principal

Enclosed

Singerely

#### RFQ COVER PAGE

Name of Firm, Entity or Organization: Baker Barrios Architects, Inc.
Federal Employer Identification Number (FEIN): 59-3444163
State of Florida License Number (If Applicable): AA0002981
Name of Contact Person: Mike Houseman, AIA, LEED AP
Title: Principal
E-Mail Address: mhouseman@bakerbarrios.com
Mailing Address: 189 S. Orange Avenue, Suite 1700
Street Address (if different):
City, State, Zip: Orlando, FL 32801
Telephone: 407.926.3000 Fax: 407.926.3390
Organizational Structure – Please Check One:
Corporation Partnership Proprietorship Joint Venture Other
If Corporation: Date of Incorporation: 5/5/1997 State of Incorporation: Florida
States Registered in as Foreign Corporation:
Authorized Signature:  Print Name: Mike Houseman, AIA, LEED AP  Signature: Title: Principal
Phone: 407.926.3000
1 HURC: 47/-720-3000
This document must be completed and returned with your Submittal.

## PROPOSAL FORM FOR BOARD OF SUMTER COUNTY COMMISSIONERS



Name of Firm Submitting Qualifications Baker Barrios Architects, Inc.

Name of Person Submitting Qualifications Mike Houseman, AIA, LEED AP

#### PROPOSER ACKNOWLEDGMENT

"The undersigned hereby declares that he/she has informed himself/herself fully in regard to all conditions to the work to be done, and that he/she has examined the RFQ and Specifications for the work and comments hereto attached. The Vendor proposes and agrees, if this submission is accepted, to contract with the Board of Sumter County Commissioners, to furnish all necessary materials, equipment, labor and services necessary to complete the work covered by the RFQ and Contract Documents for this Project. The Vendor agrees to accept in full compensation for each item the prices named in the schedules incorporated herein."

Signature		
10.01.69		
Date		

This document must be completed and returned with your Submittal

Sumter County Board of County Commissioners

reason and type for the exception or deviation.

## **VENDOR'S CERTIFICATION**

Submit To: Sumter County Board of County County To 910 North Main Street Bushnell, Florida, 33513 Phone 352-793-0200 Fax 352-793.0207	ommissioners	SUMTER COUNTY BOARD OF COUNTY COMMISSIONERS REQUEST FOR QUALIFICATIONS (RFQ) CERTIFICATION AND ADDENDA ACKNOWLEDGMENT			
DUE DATE: October 5, 2009	DUE TIME: 10:0	00am RFQ 138-0-2009/AT			
TITLE: INFORMATION TE	CHNOLOGY C	ONSULTANT			
VENDOR NAME:		PHONE NUMBER:			
Baker Barrios Architects, Inc.		407.926.3000			
VENDOR MAILING ADDRESS:		FAX NUMBER:			
189 S. Orange Avenue, Suite 1700	)	407.926.3390			
CITY/STATE/ZIP:		E-MAIL ADDRESS:			
Orlando, FL 32801		mhouseman@ba	kerbarrios.com		
that I have not divulged, discussed, or compare whatsoever for any fraudulent purpose."  1 2	ed this RFQ with any oth $oldsymbol{3}$	er Offeror and have not o	colluded with any Offerors or parties to an RFQ		
Addendum # Addendum #	Addendum #	Addendum #	Addendum #		
for the same material, supplies, equipment or so of this RFQ and certify that I am authorized to but not limited to certification requirements. I that if this proposal is accepted, the respondent of action it may now or hereafter acquire unde	ervices and is in all respe sign this response and the n conducting offers with will convey, sell, assign, r the anti-trust laws of the At the County's discretive respondent."	cts fair and without collu at the offer is in complia the Sumer County Boar , or transfer to the Count c United States for price	corporation, firm, or person submitting an RFQ sison or fraud. I agree to abide by all conditions nee with all requirements of the RFQ, including d of County Commissioners, respondent agrees y all rights, title and interest in and to all causes fixing relating to the particular commodities or ll be made and become effective at the time the  October 1, 2009  Date		
This form must be completed a	nd returned with	your Submittal			



PHONE: (352) 793-0200 \* FAX: (352) 793-0207 E-mail: <u>amanda.taylor@sumtercountyfl.gov</u>

Addendum #1 RSQ 138-0-2009/AT for Sumter County Architectural / Engineering Design Services for Fire and Rescue Stations Renovation of #32 at Oxford, FL and #31 at Wildwood, FL; New Construction Prototype Fire Station at #22 West Bushnell, FL and #33 at Coleman, FL.

- A. Notice to Contractors: Whenever a conflict appears between this addendum and the initial solicitation, or plans, this addendum shall prevail, and as such shall constitute a binding portion of the contract documents. All provisions of the original specifications shall remain in force, except as specifically modified or changed herein.
- B. Additions, Deletions, and/or Clarifications: This addendum forms a part of the Contract Documents and modified the original Quote Documents as noted below and supersedes all contrary information and requirements. Contractors shall acknowledge receipt of this Addendum.
- **Clarification 1:** Times and locations were not included on Page 2 on the Calendar of Events / RFQ Timeline please see below for clarification:
- Clarification 2: Non-Mandatory Pre Bid Meeting on Wednesday, September 9, 2009 @ 9:00am will be held in Room 142.

Proposals will be opened Monday, October 5, 2009 @ 10:05am in Room 142.

Selection Review Committee Meeting on Tuesday, October 13, 2009 will be at 1:00pm in Room 142.



PHONE: (352) 793-0200 \* FAX: (352) 793-0207 E-mail: <u>amanda.taylor@sumtercountyfl.gov</u>

Addendum #2 RSQ 138-0-2009/AT for Sumter County Architectural / Engineering Design Services for Fire and Rescue Stations Renovation of #32 at Oxford, FL and #31 at Wildwood, FL; New Construction Prototype Fire Station at #22 West Bushnell, FL and #33 at Coleman, FL.

- A. Notice to Contractors: Whenever a conflict appears between this addendum and the initial solicitation, or plans, this addendum shall prevail, and as such shall constitute a binding portion of the contract documents. All provisions of the original specifications shall remain in force, except as specifically modified or changed herein.
- B. Additions, Deletions, and/or Clarifications: This addendum forms a part of the Contract Documents and modified the original Quote Documents as noted below and supersedes all contrary information and requirements. Contractors shall acknowledge receipt of this Addendum.

Clarification 1: Correction to room location for the Selection Review Committee Meeting on Tuesday, October 13, 2009 at 1:00pm

**Clarification 2:** The meeting has been moved from Room 142 to the Supervisor of Elections Conference Room.



PHONE: (352) 793-0200 \* FAX: (352) 793-0207 E-mail: amanda.taylor@sumtercountyfl.gov

Addendum #3 RSQ 138-0-2009/AT for Sumter County Architectural / Engineering Design Services for Fire and Rescue Stations Renovation of #32 at Oxford, FL and #31 at Wildwood, FL; New Construction Prototype Fire Station at #22 West Bushnell, FL and #33 at Coleman, FL.

- A. Notice to Vendors: Whenever a conflict appears between this addendum and the initial solicitation, or plans, this addendum shall prevail, and as such shall constitute a binding portion of the contract documents. All provisions of the original specifications shall remain in force, except as specifically modified or changed herein.
- B. Additions, Deletions, and/or Clarifications: This addendum forms a part of the Contract Documents and modified the original Quote Documents as noted below and supersedes all contrary information and requirements. Contractors shall acknowledge receipt of this Addendum.

## Clarification 1: Clarification of FS 287.055 in relation to Fee Structure from submitting firms.

**Clarification 2:** Sumter County will maintain there will not be a request for the Fee Structure until after the Selection Committee makes a recommendation to the BOCC once Contract Negotiations have begun.



# 910 NORTH MAIN STREET BUSHNELL, FLORIDA 33513

PHONE: (352) 793-0200 \* FAX: (352) 793-0207 E-mail: amanda.taylor@sumtercountyfl.gov

Addendum #4 RSQ 138-0-2009/AT for Sumter County Architectural / Engineering Design Services for Fire and Rescue Stations Renovation of #32 at Oxford, FL and #31 at Wildwood, FL; New Construction Prototype Fire Station at #22 West Bushnell, FL and #33 at Coleman, FL.

- A. Notice to Vendors: Whenever a conflict appears between this addendum and the initial solicitation, or plans, this addendum shall prevail, and as such shall constitute a binding portion of the contract documents. All provisions of the original specifications shall remain in force, except as specifically modified or changed herein.
- B. Additions, Deletions, and/or Clarifications: This addendum forms a part of the Contract Documents and modified the original Quote Documents as noted below and supersedes all contrary information and requirements. Contractors shall acknowledge receipt of this Addendum.

## Clarification 1: Clarification of amount of proposals to be submitted and proposal packet requirements.

Clarification 2: A total of five (5) packets must be submitted, one (1) marked original and the other four (4) marked copy. Requirements are listed on Page 8-9 and again on Page 25 relating to forms that must be provided. All of the requirements listed in the bid will be taken into consideration when scoring is completed. It is up to the vendor to decide how much/little information is provided for each requested item.



PHONE: (352) 793-0200 \* FAX: (352) 793-0207 E-mail: amanda.taylor@sumtercountyfl.gov

Addendum #5 RSQ 138-0-2009/AT for Sumter County Architectural / Engineering Design Services for Fire and Rescue Stations Renovation of #32 at Oxford, FL and #31 at Wildwood, FL; New Construction Prototype Fire Station at #22 West Bushnell, FL and #33 at Coleman, FL.

- A. Notice to Vendors: Whenever a conflict appears between this addendum and the initial solicitation, or plans, this addendum shall prevail, and as such shall constitute a binding portion of the contract documents. All provisions of the original specifications shall remain in force, except as specifically modified or changed herein.
- B. Additions, Deletions, and/or Clarifications: This addendum forms a part of the Contract Documents and modified the original Quote Documents as noted below and supersedes all contrary information and requirements. Contractors shall acknowledge receipt of this Addendum.

Clarification 1: Clarification on the "Delivery" Section of the Statement of Terms and Conditions page 38 of 41 in the proposal packet

**Clarification 2:** See attached corrected form that should be used stating that the FOB Destinations is Sumter County, Florida.

#### STATEMENT OF TERMS AND CONDITIONS This document must be completed and returned with your Submittal

PUBLIC ENTITY CRIME: A person or affiliate who has been placed on the convicted vendor list following a conviction for a public entity crime may not admin a Process/Bid on a contract to provide any goods or services to a public entity, for the construction or repair of a public building or public work, may not eithern Proposs/Bids on lesses of real property to a public entity, may not be swarded or per form work as a contractor, supplier, subcontractor, or consultant under a contract with any public entity, and may not transect business with any public entity in excess of the threshold amount provided in Section 287.017, for CATEOORY TWO for a period of 36 months from the date of belap placed on the convicted vendor list.

INDEMNIFICATION: The Contractor agrees to indunally and hold harmless Board of Sumter County Commissioners, and their elected officials, employees and volunteers from and against all claims, lossess and expenses, including legal costs, aviding out of a resulting from, the performance of this contract, provided that any such claims, damage, less of expenses is attributed to bodily injury, tekness, disease, personal injury or desth, or to injury to or destruction of targible property including the loss or loss of use resulting there from and is caused in whole or in part by any negligent act or omission of the tenard.

PROHIBITION OF LOBBYING: During the black out period which is, the period between the time the submittals for Invitation to Bid or the Request for Proposal, or Qualifications, or Information, as applicable, are received at Contracts Privrheaing and the time the Board swards to helpotate and the firm the Board swards to the contract, no proposer, no kebbyist, principal, or other person way leibby, on behalf of a competing

time the submittals for Invitation to Bild or the Request for Proposal, or Qualifications, or Information, as applicable, are received at Contracts / Furchasing and the time the Board swards the contract, no proposer, no lobbyist, paticipal, or other person may lobby, on behalf of a competing pasty in a particular procurement matter, any number of the Board, or any Board employee other than the Budget & Purchasing Manager. Violation of this provision may read in disqualification of violating pasty. All questions regarding this Request for Proposal (RFP) or Invitation to Bild (BID) must be submitted in writing to the Board's Budget & Purchasing Manager.

ANTI TRIBET LAWS: By submitted on the Board's Budget & Purchasing Manager.

ANTI TRIBET LAWS: By submitted on the United States and the State of Florida, in order to protect the public from restraint of trade, which illegally increases prices.

CONFLICT OF INTRIBERST: The sward of the consteact hersonder is subject to the provisions of Chapter 112 of the Florida Statetes. Vendors shall disclose the name of my Officer, Director, Partner, Associate, or Agent who is also an Officer, Appointas, or Employee of any of the Boards at the time of the RFP or BiD, or at the time of occurrence of the Conflict of interest thereafter. INTERPRETATION, CLARIFICATIONS AND ADDRINDA: No ord interpretations will be made to any vendor as to the meaning of the RFPBID Contract Documents. Any inquiry or repeat for interpretation received by the Budget & Purchasing Manager before the date listed herein will be given consideration. All such changes or interpretations will be made in writing in the form of set addendman and, if issued, will be distributed at or eith Pro-Proposal/Pre-Bid Conference, meals addendman and, if issued, will be distributed at or eith Pro-Proposal/Pre-Bid Conference, meal addendman and, if issued, will be distributed at or eith Pro-Proposal/Pre-Bid Conference, meals addendman and, if issued, will be distributed at or eith pro-Proposal/Pre-Bid Conference, meals ad

RPP's/BID's received. The Board sand's his CONSULTANT do not expressly or by implication represent that the setual quantities involved will correspond exactly therewish, nor shall the Vendor plead minunderstanding or deception because of such estimate or quantities of work performed or material furnished in excordance with the Specifications and/or Drawings and other Proposal/Bid Documents, and it is understood that the quantities may be increased or diminished as provided herein without in any may invakidating any of the unit or bump sum prices bid.

GOVERNING LAWS AND REGULATIONS: The vendor is required to be familiar with and hall be responsible for complying with all federal, size and local laws, ordinances, roles and regulations that in any manner affect the work.

PROPRIETARING CONFIDENTIAL INFORMATION: Vendors are herby notified that all information submitted as part of, or in support of RFP's/BID's, will be available for public inspection ten days after opening of the RFP's/BID's or until a short bit to recommended whichever comes first, in compliance with Chepter 119, and 287 of the Forlid's Statues. Any percent whiching to view the RFP's/BID's must make an appointment by celling the Bodget & Parchazing Manager at (332) 793-0200. All RFP's/BID's submitted in response to this solicitation become the property of Benear. Unless information submitted is proprietary, copy wither, trademarked, or particle, the Benear of Sumiter County Commissioners is exempt from any taxes imposed by the

TAXES: The Board of Sunter County Commissioners is exempt from any taxes imposed by the State and/or Federal Continuent. Exemption certificates will be provided upon request. NON-COLLUSION DECLARATION: By signing this RFP/BID, all Vendors shall affirm that

they shall not collude, consisting constitue or agree, directly or indirectly, with any other Proposer, firm, or person to submit a collusive or sham Proposed in connection with the work for which their RFP/BID has been submitted; or to refrain from Bidding in connection with such work; or have in any manner, directly or indirectly, cought by person to fix the price or prices in the RFP/BID or of say other Bidder, or to fix any overhead, profit, or cost elements of the RFP/BID price or the RFP/BID price or the RFP/BID price of any other Bidder, or to secure through any collusion, compliancy, compliancy, compliancy or unlawful agreement any advantage against any other Bidder, or any person interested in the

proposed work.

PROPOSER RESPONSIBILITY: Invitation by the Boards to versions is based on the recipient's specific request and application to DemandStar by Ornia at www.DemandStar com [(800) 711-712] or as the result of response by the public to the legal advertisaments required by Stele Inv. Firms or individuals subcalt their responses on a voluntary back, and therefore are not entitled to

componention of any life.

OWNERSHIP OF SUBMITTALS: All responses, inquiries or correspondence relating to or in reference to this RFP/BID, and all other reports, charts, displays, exhediles, exhibits and other occumentation submitted by the vendors will become the property of the Board. Reference to literature submitted with a previous RFP/BID will not relieve the Bidder from including any required documents with this RFP/BID.

required documents with this REP/BID.

EXAMINATION OF BID DOCUMENTS: Each Bidder shall exceptly exemine the REP/BID

Document to ensure all pages have been received, all drawings and/or Specifications and other
applicable documents are included, and shall inform hinself throughly regarding say and all
conditions and requirements that may it any manner affect cest, progress or performance of the
work to be performed under the Contract. Ignorance on the part of the CONTRACTOR will in no
way tribers him of the obligations and responsibilities assumed made the Contract

VENDOR RESPONSIBILITY: Vendors are fully and completely responsible for the labeling,
identification and delivery of their suturaties. The Budget & Purchasing Manager will not be
responsible for any midstocked or missiliarized submissions, one those handled by delivery persons

countries, or the US POSIAl Service.

PSIIG SEPEN WOR MET ACE: All Reproporters third on a submission of the produced dury ideased and

DRUGFREE WORKELACE: All Proposers/Bidders shall submit the enclosed, duly signed and notafized form entitled "Drug Free Workplace Certificate". The Drug Free Workplace Verdor shall have the burden of demonstrating that his program complies with Section 287.087 of the Florida Statutes, and any other applicable size law.

BOARD OF SUMTER COUNTY COMMISSIONERS, are policical subdivisions of the State of Florida, and reserve the right to reject any end/or all submittals, reserve the right to waive any informatities or irregularities in the examination process, and reserve the right to award contracts and/or in the best interest of the Boards. Submittats not meeting stated minimum terms and qualifications may be rejected by the Boards as non-responsive. The Boards reserve the right to reject any or all submitteds without cause. The Reards reserves the right to reject the submission of any Vender in errears or in default upon any debt or contract to the Boards, or who has failed to perform faithfully any previous

default upon any debt or contract to the Boards, or who has failed to perform feithfully any previous contract with the Boards or with other governmental agencies.

FUBLIC RECORDS LAW: Correspondence, materials and documents received pursuant to this RFPABID become public records subject to the provisions of Chapter 119, Florida Statutes.

VRRIFICATION OF TIME: Nextel time is hereby established as the Official Time of the Boards.

PREPARATION OF PROPOSALS/RIDS:

Signature of the Bidder: The Bidder must sign the RFPABID FORMS in the space provided for the signature of the Bidder: The Bidder must sign the RFPABID FORMS in the space provided for the signature in the Proposal Bidder is an individual, the words "doing business as \_\_\_\_\_\_" mast appear beneath such signature. In the case of a partnership, the signature of at least one of the partners must follow the firm name and the words, "Member of the Firm" should be written beneath such signature. If the Proposar/Bidder is an information for the corporation must be stated and evidences of his subjectly to sign the RFPABID must be submitted. The Proposar/Bidder shall state in the RFPABID FORMS the name and address of each person interested therein.

Dark for Bidding: The price proposed for each item stell be on a lump sum or unk price bosis eccording to specifications on the RFP/BID FORM. The proposed prices shall remain unchanged for the duration of the Coursed and no claims for cost escalation during the progress of the work will be considered, unless otherwise provided bertin.

Total Proposed Price Total Contract Sara Proposed: If applicable, the total price bid for the work

shall be the eggregate of the hump num prices proposed and/or unit prices multiplied by the appropriate estimated quantities for the individual items and shall be stated in figures in the appropriate place on the RFP/BID FORM. In the event that there is a discrepancy on the RFP/BID FORM due to unit price artensions or additions, the corrected extensions and additions shall be used to determine the project bid

emount.

TABULATION: Those wishing to receive an official tabulation of the results of the opening of this RFP/BiD are to submit a self-addressed, stamped fusiness size (No. 10) envelope, prominently marked on the front lower left side, with the RFP identification. Tabulation requested by telephone, feet or electronic media will not be accepted.

OBLIGATION OF WINNING BIDDER: The contrals of the RFP/BID of the successful proposes/bidder will become contractual obligations if acquilation action ensues, Failure of the successful Proposes/Bidder to accept these obligations in a contract may result in cancellation of the award and such version may be trooped from fines participation.

Proposed bloder to accept these obligations in a contract may result in cancellation of the award and such vendor may be tensowed from fature participation.

AWARD OF BID: It is the Boards' fatent to select a vendor within sixty (66) calendar days of the deadline for receipt of Proposals/Bids must be firm and valid for award for at least statety (60) calendar days after the deadline for receipt of the REP/BID.

ADDITIONAL REQUIREMENTS: The firms shall famish such additional information as the Boards may reasonably require. This includes information which indicates financial resources as well as ability to provide the territors. The Boards reserve the right to make investigations of the questifications of the firm with deems corrected.

as it deems appropriate.

PREPARATION COSTS: The Boards shall not be obligated or be liable for any costs incurred by Proposer/Eliders prior to issuance of a contract. All costs to prepare and submit a response to this REPARD shall be borne by the Proposer/Elider.

TIMELINESS. All work will commence upon sotherization from the Boards' tepresentative (Budget & Purchasing Managers). All work will proceed in a limety manner without delays. The Contractor shall commence the work UPON RECEIPT OF NOTICE TO PROCEED and/or ORDER PLACED (PURCHASE ORDER PRESENTED), and shall deliver in accordance to the terms and conditions tlined and agreed upon herein.

DELLVERY: All prices shall be FOB Destination, Sumter County, Florida, inside delivery unless chernin specified.

Additional services purchases by other public agencies ("Piggy-Dack"):

otherwise specified.

ADDITIONAL SERVICES/PURCHASES BY OTHER PUBLIC AGENCIES (\*PIGGY-BACK"):
The Vendor by submitting a Bild exthrowledges that other Public Agencies may seek to "Piggy-Back" under the same terms and conditions, during the effective period of any resulting contract — services and/or purchases being offered in this Bid, for the same prices and/or terms proposed. Vendor has the option to egree or disagree to silow contract Figgy-Back on a case-by-cess basis. Before a Public Agency is silowed to Piggy-Back any contract, the Agency must first obtain the vendor's approval, the seeking Agency counct Piggy-Back.

PLANS, FORMS & SYECIFICATIONS: Bid Packages are strainable from the Biodget & Purchasing Manager. These packages are available for pickup or by mail. If requested to mail, the Proposer/Bidder must supply a cousire account number (IPS, FoRK, etc.). Proposer/Bidders are required to use the official RFP/BID FORMS, and sil attachments stemfared herein, are to be submitted as a single document. Any variation from the minimum specifications must be slearly stated on the RFP/BID FORM and/or Exceptions/Devisions Sheet(s). Only one set of plans, forms, and specifications will be furnished each company or corporation interested in submitting a proposal/bid. RFP/BID FORM documents for this project are fee of charge and are available on-line and are downloadable (vendor must pay my DemandStar fees or any shipping).

MANUFACTURRY'S NAME AND APPROVED EQUIVALENTS: Any manufacture's names, trade annues, tomation and names, information and/or estabs; numbers listed in a specification may offer any brand for which he is an anthorized representative, which meets or exceeds the RFP/BID population for any brand for which he is an anthorized representative, which meets or exceeds the RFP/BID population for any terms. If RFP/BID is are based on equivalent products, indicate on the RFP/BID FORM the manufacturer's product name and Recraime, antivo complete specifications and not be considered in desail the reason(s) w stratesentative.

QUANTITIES: The quantities as specified in this REP/BID are estimates only and are not to

as gearmiteed minimums.

SAMFILES: Samples of items, when celled for, shall be furnished free of expense, and if not destroyed
may, upon request, be returned at the Proposer's Bidder's expense. Each cample shall be tabeled with the
Proposer's Bidder's name, massized are band name and number. RFP/Bill number and item reference. Propose's Wildder's name, massifecturer brand name and mumber, REP/INID number and from refutence. Samples of successful Proposer's Bidder's items may remain on file for the term of the contract. Request for return of samples shall be accompanied by instructions which include thipping extensional may make received at time of opening. Samples not returned may be disposed of by the Boards within a reasonable time as debunds appropriate.

DOCUMENT RECREATION: Ventor may choose to re-create any document(s) required for this solicitation but must ob be at his own risk. All required information in the original Board format must be included in my re-created document. Submitteds may be deemed non-responsive if required information is not included in any to created document.

10.01.09 (Signature and Date) Page 38 of 41

#### DRUG FREE WORKPLACE CERTIFICATE

I, the undersigned, in accordance with Florida Statute 287.087, hereby certify that,

#### Baker Barrios Architects, Inc.

(print or type name of firm)

- Publishes a written statement notifying that the unlawful manufacture, distribution, dispensing, possession
  or use of a controlled substance is prohibited in the workplace named above, and specifying actions that
  will be taken against violations of such prohibition.
- Informs employees about the dangers of drug abuse in the work place, the firm's policy of maintaining a drug free working environment, and available drug counseling, rehabilitation, and employee assistance programs, and the penalties that my be imposed upon employees for drug use violations.
- Gives each employee engaged in providing commodities or contractual services that are under proposal or bid, a copy of the statement specified above.
- Notifies the employees that as a condition of working on the commodities or contractual services that are under proposal or bid, the employee will abide by the terms of the statement and will notify the employer of any conviction of, please or guilty or nolo contendere to, any violation of Chapter 1893, or of any controlled substance law of the State of Florida or the United States, for a violation occurring in the work place, no later than five (5) days after such conviction, and requires employees to sign copies of such written (\*) statement to acknowledge their receipt.
- Imposes a sanction on, or requires the satisfactory participation in, a drug abuse assistance or rehabilitation program, if such is available in the employee's community, by any employee who is so convicted.

 Makes a good faith effort to continue to maintain a drug free work place through the implementation of the drug free workplace program.

• "As a person authorized to sign this statement, I certify that the above named business, firm or corporation complies fully with the requirements set forth herein".

Authorized Signature

Date Signed

State of: Florida

County of: Orange

Sworn to and subscribed before me this 1 ST day of Oct. , 2009

Personally known

or Produced Identification

(Specify Type of Identification)

Signatura of Notacy HENA P. STURNO
MY COMMISSION # DD571423

Ty Company Sion Expiress: July 5, 2010
(407) 398-0153 Florida Notary Service.com

This document must be completed and returned with your Submittal

I HEREBY CERTIFY that

## **Conflict of Interest Disclosure Form**

	Marion Ra
2.	I (printed name) CONOS BOYRIOS am the (title) Principal and the duly authorized representative of the firm of (Firm
	(title) Principal and the duly authorized representative of the firm of (Firm
	Name) Baker Barrios Architects, Inc. whose address is 189 S. Orange Ave., Suite 1700, Orlando, FL 32801
	189 S. Orange Ave., Suite 1700, Orlando, FL 32801, and that I possess the legal
	, and that I possess the legal
	authority to make this affidavit on behalf of myself and the firm for which I am acting; and,
	2. Except as listed below, no employee, officer, or agent of the firm have any conflicts of interest, real or apparent, due to ownership, other clients, contracts, or interests associated with this project; and,
	3. This bid proposal is made without prior understanding, agreement, or connection with any corporation, firm, or person submitting a bid proposal for the same services, and is in all respects fair and without collusion or fraud.
EX(	CEPTIONS (List)
Sigi	nature:
Prir	ated Name: Or 105 Porri OS
Firr	n Name: Baker Barrios Architects, Inc.
	e: 10/1/09
Swo	orn to and subscribed before me this ST day of <u>October</u> 2009
	sonally Known
OR	Produced Identification, Type of Identification
Му	Commission Expires  ATHENA P. STURNO  MY COMMISSION # DD571423  EXPIRES: July 5, 2010  (407) 398-0153 FlorIda Notary Service.com

(Printed, typed or stamped commissioned name of notary)

THIS FORM MUST BE COMPLETED AND RETURNED WITH YOUR QUALIFICATIONS PACKAGE

Tob B

FORM	11
FIRM PRO	DFILE
Proposed Discipline: Architectural/Engineering Services	
1. Firm (or joint venture) Name & Address  Baker Barrios Architects, Inc. 189 S. Orange Avenue, Suite 1700 Orlando, FL 32801	1c. Licensed to do business in the State of Florida  X Yes No  1d. Name, Title & Telephone Number of Principal to Contact  Mike Houseman, AIA, LEED AP Principal Studio Director 407.926.3000 mhouseman@bakerbarrios.com
1a. Firm is National Regional _X_ Local         FEIN # _59-344163         1b. Firm is a Certified Minority Business Enterprise _X_ Yes No	1e. Address of office to perform work, if different from Item 1  N/A

2. Please list the number of people by discipline that your firm/joint venture will commit to the County's project.

The strength of every firm is in its people. Our highly-trained staff draws upon the resources of over 60 professionals with active registrations in 18 states. Our professional designers, architects, interior designers, CAD specialists, drafters and support staff have the level of expertise, diversity, resources and depth of experience to deliver the best architectural and design product for the client's needs. Baker Barrios Architects, Inc. attributes its success to a core philosophy that is carried throughout every aspect of the organization: Our business is service.

As a collaborative team environment, our firm is committed to using everyone as a resource on a project. Below is our list of employees at Baker Barrios Architects, Inc.

Architects -13
Administrative - 6
Construction Administration - 2
Interior Designers - 9
CADD Designers - 15
Technical Quality Assurance / Control -1
Concept Designers - 3
Project Manager - 4
Marketing/Development - 4
Managed Information Systems - 1

Total Staff - 58

3. If submittal is by joint venture list participating firms and outline specific areas of responsibility (including administrative, technical, and financial) for each firm:

N/A

3a. Has this joint venture previously worked together? \_\_\_\_ Yes \_\_\_\_ No



Bepartment of State

I certify the attached is a true and correct copy of the Articles of Amendment, filed on April 21, 2005, to Articles of Incorporation for FARMER BARRIOS BARRIOS ARCHITECTS, INC., which changed its name to BAKER BARRIOS ARCHITECTS, INC., a Florida corporation, as shown by the records of this office.

The document number of this corporation is P97000040142.

Given under my hand and the Great Seal of the State of Florida at Tallahassee, the Capitol, this the Twenty-first day of April, 2005

CR2EO22 (2-03)

Cleada E Hood

Blenda H. Hood

Secretary of State

AC# 4234461

#### STATE OF FLORIDA

taling and the second seco DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION BOARD OF ARCHITECTURE & INTERIOR DESIGN

SEQ# L09012700561

BATCH NUMBER LICENSE NBR

01/27/2009 080341215 AA0002981

O1/27/2009 | 080341215 | | AAUUU22022 |
The ARCHITECT CORPORATION | Named below IS CERTIFIED | Under the provisions of Chapter 481 FS. Expiration date: FEB 28, 2011 |

BAKER BARRIOS ARCHITECTS, INC. 189 SOUTH ORANGE AVE SUITE 1700 | ORLANDO | FL 32801

CHARLIE CRIST GOVERNOR DISPLAY AS REQUIRED BY LAW

CHARLES W. DRAGO SECRETARY

Clion##: 21/15

	ACORD. CERTIFIC		BILITY IN		ICE	DATE (MM/DD/YY 11/14/08	ryy)			
Sui P.C	DUCER ncoast Insurance Associates D. Box 22668		ONLY AND HOLDER. T	CONFERS NO RIGHTS CERTIFICATE	D AS A MATTER OF IN GHTS UPON THE CER' E DOES NOT AMEND, I FORDED BY THE POLIC	TIFICATE EXTEND OR				
	npa, FL 33622-2668 3 289-5200		WOUDEDO A							
	7 203-0200 JRED			FORDING COVE	rance Company	37885				
	Baker Barrios Architects,	Inc.	INSURER B:	opecially mout	ance company	37003				
	189 S. Orange Avenue, Տւ	uite 1700	INSURER C:		······································					
	Orlando, FL 32801		INSURER D:							
			INSURER E:							
	VERAGES									
A1 M	HE POLICIES OF INSURANCE LISTED BELOV NY REQUIREMENT, TERM OR CONDITION O AY PERTAIN, THE INSURANCE AFFORDED I OLICIES. AGGREGATE LIMITS SHOWN MAY	F ANY CONTRACT OR OTHER D BY THE POLICIES DESCRIBED F	OCUMENT WITH RESP IEREIN IS SUBJECT TO CLAIMS.	ECT TO WHICH THE ALL THE TERMS, E	S CERTIFICATE MAY BE IS	SSUED OR				
INSR LTR	ADD'U INSRD TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMI	TS				
	GENERAL LIABILITY				EACH OCCURRENCE	\$				
	COMMERCIAL GENERAL LIABILITY				DAMAGE TO RENTED PREMISES (Ea occurrence)	\$				
	CLAIMS MADE OCCUR				MED EXP (Any one person)	\$				
					PERSONAL & ADV INJURY GENERAL AGGREGATE	S				
	GEN'L AGGREGATE LIMIT APPLIES PER:				PRODUCTS - COMP/OP AGG					
	POLICY PRO-									
	AUTOMOBILE LIABILITY ANY AUTO				COMBINED SINGLE LIMIT (Ea accident)	\$				
	ALL OWNED AUTOS SCHEDULED AUTOS				BODILY INJURY (Per person)	\$				
	HIRED AUTOS NON-OWNED AUTOS				BODILY INJURY (Per accident)	\$				
					PROPERTY DAMAGE (Per accident)	\$				
	GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT	\$				
	ANY AUTO				OTHER THAN EA ACC AUTO ONLY: AGG					
	EXCESS/UMBRELLA LIABILITY				EACH OCCURRENCE	\$	, ,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,			
	OCCUR CLAIMS MADE				AGGREGATE	\$				
						\$				
	DEDUCTIBLE					\$				
	RETENTION \$				WC STATU- OTH	\$				
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				TORYLIMITS ER					
	ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED?				E.L. EACH ACCIDENT  E.L. DISEASE - EA EMPLOYE					
	If yes, describe under SPECIAL PROVISIONS below				E.L. DISEASE - POLICY LIMIT					
A		DPR9617659	11/15/08	11/15/09	\$3,000,000 per claim \$5,000,000 anni aggr.					
DEC	CRIPTION OF OPERATIONS / LOCATIONS / VEHICL	Ed LEACI HIGIONG YOUGO DA ENDO	DESEMENT / SPECIAL PROV	VISIONS						
	offessional Liability is written on a c			<b>NO</b>						
CF	RTIFICATE HOLDER		CANCELLATI	ON						
					ED POLICIES BE CANCELLED	BEFORE THE EXPIRA	ATION			
	FOR PROPOSAL PURPO	SES	DATE THEREOF, T	THE ISSUING INSURER	WILL ENDEAVOR TO MAIL	30 DAYS WRIT	TEN			
			NOTICE TO THE C	NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL						
			1		OF ANY KIND UPON THE INSU	RER, ITS AGENTS OF	R			
			REPRESENTATIVE AUTHORIZED REI							
				WI WE D	-					
AC	ORD 25 (2001/08) 1 of 2 #S1	75379/M175378			MRL @ ACORD	CORPORATION	N 1988			

4	4 <i>C</i>	CORD CERTIFIC	ATE OF LIABIL	ITY INSU	RANCE	OPID ET BAKEBAR	DATE (MM/DD/YYYY) 10/01/09
вв		R - J Rolfe Davis Insur Box 4927	ance	ONLY AND HOLDER. T	CONFERS NO RIC HIS CERTIFICATE	D AS A MATTER OF INFO BHTS UPON THE CERTII E DOES NOT AMEND, EX ORDED BY THE POLICII	FICATE TEND OR
		do FL 32802-4927 2:407-691-9600		INSURERS A	NAIC #		
NSU	RED			INSURER A:	Hartford Casualty	Insurance Co	29424
					Zurich Nort	h American	
		Baker Barrios Arch 189 S. Orange Aven	itects, Inc.	INSURER C:			
		Orlando FL 32801	de, bee #1700	INSURER D:			
CO	/ERA	AGES		HOOKEN L.			
TH AN MA	E POLI Y REQ Y PER	LICIES OF INSURANCE LISTED BELOW HAVE QUIREMENT, TERM OR CONDITION OF ANY CO RTAIN, THE INSURANCE AFFORDED BY THE P IS, AGGREGATE LIMITS SHOWN MAY HAVE BE	INTRACT OR OTHER DOCUMENT WITH REPOLICIES DESCRIBED HEREIN IS SUBJECT	SPECT TO WHICH THIS T TO ALL THE TERMS, E	CERTIFICATE MAY BE I XCLUSIONS AND CONDI	SSUED OR	
	ADD L INSRD		POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	S
		GENERAL LIABILITY				EACH OCCURRENCE	\$ 1000000
A		X COMMERCIAL GENERAL LIABILITY	21SBA UF6297	11/15/08	11/15/09	PREMISES (Ea occurence)	\$ 1000000
		CLAIMS MADE X OCCUR				MED EXP (Any one person)	\$ 10000
						PERSONAL & ADV INJURY	\$1000000
						GENERAL AGGREGATE	\$ 2000000
		GEN'L AGGREGATE LIMIT APPLIES PER. POLICY PRO-			·	PRODUCTS - COMP/OP AGG	\$ 2000000
		AUTOMOBILE LIABILITY  ANY AUTO				COMBINED SINGLE LIMIT (Ea accident)	\$
		ALL OWNED AUTOS SCHEDULED AUTOS				BODILY INJURY (Per person)	\$
		HIRED AUTOS NON-OWNED AUTOS				BODILY INJURY (Per accident)	\$
_						PROPERTY DAMAGE (Per accident)	\$
		GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT	\$
		ANY AUTO				OTHER THAN EA ACC	\$
		EXCESS/UMBRELLA LIABILITY				EACH OCCURRENCE	\$ 5000000
A		X OCCUR CLAIMS MADE	21SBA UF6297	11/15/08	11/15/09	AGGREGATE	\$ 5000000
		DEDUCTIBLE					\$
		X RETENTION \$10000					\$
		RKERS COMPENSATION AND				X WC STATU- OTH- TORY LIMITS ER	
В	ANY I	PLOYERS' LIABILITY PROPRIETOR/PARTNER/EXECUTIVE	WC0253005502	09/01/09	09/01/10	E.L. EACH ACCIDENT	\$500000
		ICER/MEMBER EXCLUDED? s, describe under				E.L. DISEASE - EA EMPLOYEE	\$500000
	SPEC	CIAL PROVISIONS below	<u> </u>			E.L. DISEASE - POLICY LIMIT	\$ 500000
DESC	RIPTIC	ION OF OPERATIONS / LOCATIONS / VEHICL	ES / EXCLUSIONS ADDED BY ENDORSEM	I MENT / SPECIAL PROVIS	I NONS	L	
Th	e G	eneral Liability poli	cy includes a blank	et addition	al insured		
en:	dor:	sement for Certificat	e Holder if require	d by writte	n contract.		
<u>CFF</u>	TIFIC	CATE HOLDER		CANCELLATI	ON .		······································
			SAMPLE	T CUCUIT B BUY OF		ED POLICIES BE CANCELLED B	EFORE THE EXPIRATION
			SAMPLE	' <b>1</b>		R WILL ENDEAVOR TO MAIL	
				ł		NAMED TO THE LEFT, BUT FAIL	
		SAMPLE CERTIFICATE PROPOSAL PURPOSES		IMPOSE NO OBL	IGATION OR LIABILITY	OF ANY KIND UPON THE INSURI	ER, ITS AGENTS OR
		EROFOSAL FORFOSES	ONE L	REPRESENTATION AUTHORIZED REF			

Tob C

Name & Title: Carlos Barrios, AIA, Principal-In-Charge

Project assignment: Principal-In-Charge

Name of firm with which associated: Baker Barrios Architects, Inc.

Years experience: 31 years

With this firm 15 years

With other firms 16 years

Education: Degree(s)/year/school/specialization:

Master of Architecture, University of Florida, 1983 Bachelor of Design in Architecture, University of Florida, 1977

Active registration: Year first registered/discipline

Registered Architect AR01512; NCARB Certified

- Fire Station Prototype, Orange County, Florida Prepared design and specification criteria as a basis of design and planning of all future Fire Stations for Orange County.
- Cobb County Fire Station 5 \$2.34 million, 10,400 SF 2-story, 2-bay facility with a builtout basement level capable of housing a minimum of 74 feet of truck space lengthwise.
- GSFIC Cobb County Safety ad Hero Unit Facility 12,000 SF, \$3 million, facility that will serve as a joint use facility for the Georgia Department of Transportation (DOT) Highway Emergence Response Operators (HERO) Unit Facility and a Department of Public Safety (DPS) State Patrol Post.
- Orange County Sheriff Complex, Orlando, Florida 220,000 SF, 2-story total conversion and renovation of an abandoned store. The \$7.4 million complex houses administrative offices, forensic laboratory, high security and training facility.
- RCID Fire Station No. 4 and Emergency Services Center, Lake Buena Vista, Florida The \$3.5 million, 19,468 SF station includes a 11,968 SF fire station a sheriff's office, and
  information service dept which is totally self-sustaining and augments the district's 24-hour
  fire, rescue and emergency medical services.
- RCID Fire Station No. 2, Walt Disney World, Lake Buena Vista, Florida \$1.04 million, 10,000 SF Fire Station.
- ► The Villages, Lake Sumter Landing, Florida \$70 million, 28 mixed-use buildings consisting of commercial office, retail, restaurants and a movie theater.
- Jacksonville Beach Fire Station No. 2, Jacksonville Beach, Florida \$701,874 Fire
   Station which includes a 24 hour call center, kitchen, sleep area, living room and fitness.
- Fire Station No. 2, City of Oviedo, Florida 10,000 SF Fire Station with three drive-thru bays,\$1 million.

Name & Title: Tim Baker, Design Principal

Project assignment: Design Principal

Name of firm with which associated: Baker Barrios Architects, Inc.

Years experience: 24 years

With this firm 16 years

With other firms 8 years

Education: Degree(s)/year/school/specialization:

Masters of Architecture / Ohio State University / 1987 Bachelor of Science in Architecture / Ohio State University / 1985

Active registration: Year first registered/discipline

Registered Architect AR0014098; NCARB Certified

- The Villages, Lake Sumter Landing, Florida \$70 million, 28 mixed-use buildings consisting of commercial office, retail, restaurants and a movie theater.
- Jacksonville Beach Fire Station No. 2, Jacksonville Beach, Florida \$701,874 Fire
   Station which includes a 24 hour call center, kitchen, sleep area, living room and fitness
- Fire Station No. 2, City of Oviedo, Florida 10,000 SF Fire Station with three drive-thru bays,\$1 million.
- Fire Station Prototype, Orange County, Florida Prepared design and specification criteria as a basis of design and planning of all future Fire Stations for Orange County.
- Cobb County Fire Station 5 \$2.34 million, 10,400 SF 2-story, 2-bay facility with a builtout basement level capable of housing a minimum of 74 feet of truck space lengthwise.
- GSFIC Cobb County Safety ad Hero Unit Facility 12,000 SF, \$3 million, facility that will serve as a joint use facility for the Georgia Department of Transportation (DOT) Highway Emergence Response Operators (HERO) Unit Facility and a Department of Public Safety (DPS) State Patrol Post.
- Orlando Utilities Commission Plaza, Orlando, Florida 127,000 SF office space, \$34 million new OUC administrative headquarters and corporate office building. The nine-story facility will also provide 400 parking spaces. LEED Gold.
- RCID Fire Station No. 4 and Emergency Services Center, Lake Buena Vista, Florida The \$3.5 million, 19,468 SF station includes a 11,968 SF fire station a sheriff's office, and information service dept which is totally self-sustaining and augments the district's 24-hour fire, rescue and emergency medical services.
- RCID Fire Station No. 2, Walt Disney World, Lake Buena Vista, Florida \$1.04 million, 10,000 SF Fire Station.□

Name & Title: Scott Martin, LEED AP, Principal

Project assignment: Concept Designer

Name of firm with which associated: Baker Barrios Architects, Inc.

Years experience: 15 years

With this firm 5 years

With other firms 10 years

Education: Degree(s)/year/school/specialization:

Graduate Certificate Community Design & Development / 2003 Master of Architecture / University of South Florida / 2002 Bachelor of Design / University of Florida / 1994

Active registration: Year first registered/discipline

#### **LEED Accredited Professional**

- Orlando Utilities Commission Plaza, Orlando, Florida 127,000 SF office space, \$34 million new OUC administrative headquarters and corporate office building. The nine-story facility will also provide 400 parking spaces. LEED Gold.
- CW Bill Young Hall, University of South Florida, Tampa, Florida Design / Build of a \$10 million, four-story, 53,709 SF building. The first and second floor will be lecture halls and smaller classrooms, the third floor is for the Joint Military Leadership, and the fourth floor is for offices and conference rooms.
- Army Lacrosse Facility, United States Military Academy, West Point, New York The 2story, 28,000 SF Lacrosse Training Facility will contain offices and support space for the Lacrosse Varsity Program as well as the adjacent Foley Athletic Center.
- Orlando Health Medical Office and Surgery Center, Orlando, Florida Design/ Build of a Class "A" Office Building "shell," including site planning, the structural framework, the building enclosure, the lobbies, and the core, shell and common areas, including toilet rooms, elevators, mechanical and electrical room and ceiling space. The five-story medical building will contain 153,664 SF medical office space and 3,471 SF of retail space.
- The Plaza, Orlando, Florida \$76 million, major mixed-use development with 398,796 SF of office space, a 12-plex movie theater, 43,517 SF of retail and restaurant space as well as a 1,400 car parking garage.
- Phillips View Office Tower, Orlando, Florida 15-story, 325,987 SF commercial office building with a 345 parking garage.
- Barona Administration Building and Tribal Center, Lakeside, California 35,540 SF, \$6.9 million administration and tribal center will include tribal services, meeting room, human resources, purchasing department, accounting offices, tribal council offices, council chambers, and government relations. LEED Design.

Name & Title: Mike Houseman, AIA, LEED AP, Principal

Project assignment: Project Manager

Name of firm with which associated: Baker Barrios Architects, Inc.

Years experience: 14 years

With this firm 6 years

With other firms 8 years

Education: Degree(s)/year/school/specialization:

## Bachelor of Architecture / University of Southern California / 1994

Active registration: Year first registered/discipline

Registered Architect, Florida; LEED Accredited Professional

Other experience and qualifications relevant to the proposed project:

- **801 N Orange**, Orlando, Florida 264,413 SF, \$16.4 million, eight-story, mixed-use building with 95,000 SF of office space, 16,200 SF of retail and a 364 car parking garage.
- Belle Terre Office, Orlando, Florida 60,00 SF, 3-story, \$5.2 million building consisting of office condos and retail space, including a restaurant, a bank and an auto showroom. The building has a 3-story atrium with glass elevators, bridges and a 40' waterfall.
- University of Central Florida
  - Nanotechnology, Phase 1 III, Orlando, Florida The 30,000 SF phased project included classrooms, offices, cell culture labs, a clean room, bio and surface chemistry labs, and a laser room. \$3.5 million.
  - Engineering Building II\* \$18 million 100,688 SF engineering building.
  - Partnership II\* 91,000 SF \$20 million project serving the UCF and the Department of Defense.
  - Morgridge International Reading Center, Phase I & II 100,000 SF, two-building project that will house classrooms, lab spaces and multiple spaces to learn about education, LEED Silver.
- Northpoint 4 Office Building, Lake Mary, Florida\* 120,000 SF shell office
- K-12 Prototype School Designs\* Design concepts for Orange, Osceola, Seminole and Manatee
- La Prensa, Orlando, Florida corporate headquarters with administrative offices and meeting space for the international spanish language periodical.
- University of North Florida, College of Education and Human Services, Jacksonville,
   Florida 98,000 SF, \$21.4 million, classroom and office building, LEED Silver.

\* Previous firm experience.

Name & Title: Jeffrey R. McComas, AIA, Associate

Project assignment: Project Architect

Name of firm with which associated: Baker Barrios Architects, Inc.

Years experience: 24 years

With this firm 6 years

With other firms 18 years

Education: Degree(s)/year/school/specialization:

B.S. Architecture Technology / West Virginia State / 1985

Active registration: Year first registered/discipline

### **Registered Architect**

Other experience and qualifications relevant to the proposed project:

- **801 N Orange**, Orlando, Florida 264,413 SF, \$16.4 million, eight-story, mixed-use building with 95,000 SF of office space, 16,200 SF of retail and a 364 car parking garage.
- Belle Terre Office, Orlando, Florida 60,00 SF, 3-story, \$5.2 million building consisting of office condos and retail space, including a restaurant, a bank and an auto showroom. The building has a 3-story atrium with glass elevators, bridges and a 40' waterfall.
- Northpoint 4 Office Building, Lake Mary, Florida\* 120,000 SF shell office
- K-12 Prototype School Designs\* Design concepts for Orange, Osceola, Seminole and Manatee
- Hewitt Associates Orlando Headquarters, Central Florida Research Park, Orlando, Florida\* - Project Architect with involvement in building shell, interior design, and construction administration for a 6 story, 350,000 SF, single tenant office facility for Hewitt Associates, a large benefits company based in Lincolnshire Illinois.
- Multi Tenant Office Building, USF Research Park, Tampa, Florida\* Project Architect for development of 3 story, 120,000 SF, tilt-wall office building adjacent and connected to a lab facility to be utilized as a high tech business incubator at USF Research Park.
- West Point Foley Athletic Center, USMA, West Point, New York Comprehensive architectural services for the \$12.2 million, 73,000 SF covered sports practice facility.
- Traditions, Port St. Lucie, Florida Designed four mixed-use buildings in Traditions Square, the heart of Core Communities' expansive Traditions development. The center houses the Town Hall Building which serves as the square's anchor, surrounded by retail and office space. The town hall, designed.

\* Previous firm experience.

#### TEAM COMPOSITION

Name & Title: Brian S. Hessinger, P.E., LEED AP - Chief Operating Officer

Project assignment: Sr. Mechanical Engineer

Name of firm with which associated: Ingenuity Engineers, Inc.

Years experience: 18 years

With this firm 5

With other firms 13

Education: Degree(s)/year/school/specialization:

Bachelor of Science / 1992 / University of Central Florida / Mechanical Engineering

Active registration: Year first registered/discipline

1998 / Professional Mechanical Engineer, Florida (and 11 other states) LEED Accredited Professional Active Member, American Society of Mechanical Engineers

Active Member, National Fire Protection Association

- Cobb County Fire Station #5, 10,400 SF, 2 bay, Marietta, GA
- City of Gainesville Public Administration Building (LEED Silver), Gainesville, FL
- West Melbourne City Hall, 2-story, 13,920 SF, West Melbourne, FL
- Moore Justice Center Expansion, Brevard County, FL
- Sanford City Hall Renovation, 17,200 SF, Sanford, FL
- Sumter County Public Works Break Room & Office Renovation, 3,000 SF, Sumter County, FL
- Jensen Beach Community Center, Martin County, FL
- Volusia County Continuing Services Contract, Volusia County, FL
- GSA, U.S. Citizenship and Immigration Services, Southeast Regional Office Renovation, 30,000 SF, Orlando, FL
- GSA, Secret Service Office Renovation, 10,000 SF, Orlando, FL
- U.S. Army Office Renovation and Expansio , 6,500 SF, Orlando, FL
- Veteran's Administration Renovation, 10,000 SF, Winter Park, FL

#### 1. Project Name & Location

## Cobb County Fire Station #5

Cobb County, Georgia

Project Manager:

Brian S. Hessinger, P.E., LEED AP Senior Mechanical Engineer

Project Owners Name & Address

Cobb County Marietta, Georgia 57 Waddell Street Marietta, Georgia 30060

### Completion Date (Actual or Estimated

#### 2008

\$2,340

$E_{5}$	stim	atec	l C	Cost	(In	Thousand	ls)				
								***	•	C	

Entire Project Work for which firm was/is responsible

\$31.5

Project Owner's Contact Person, Title, & Telephone Number

Allen Kronenberger Project Manager (770) 528 -2187

#### Scope of Entire Project

Cobb County Fire Station #5 is a 10,400 square foot, single story, two bay "backin" fire station building. The facility has a built-out basement level and is capable of housing 74-feet of truck space in each of the two bays. The building includes living quarters for 10 persons, a common area with cooking, dining, two room and fitness room, administrative office areas, and mechanical spaces. The structure includes a 1,000 square foot community room with storage and toilets and shower facilities. Project was CM at Risk.



## Nature of Firm's Responsibility in Project

Ingenuity Engineers provided mechanical, electrical, plumbing and fire protection engineering services associated with designing Cobb County Fire Station #5.

#### Firm's Personnel

David F. Green, Jr. - Senior Electrical Engineer; Phil Rohm, CPE, LEED AP - Senior Plumbing Engineer

#### TEAM COMPOSITION

Name & Title: David F. Green, Jr. - President/CEO

Project assignment: Sr. Electrical Engineer

Name of firm with which associated: Ingenuity Engineers, Inc.

Years experience: 27 years

With this firm 5

With other firms 22

Education: Degree(s)/year/school/specialization:

Bachelor of Science / 1998 / Kennedy Western University, University of Dayton / Engineering

Active registration: Year first registered/discipline

#### **Illumination Engineering Society**

Other experience and qualifications relevant to the proposed project:

- Cobb County Fire Station #5, 10,400 SF, 2 bay, Marietta, GA
- ARFF (Air Rescue Fire Facility), 6 bay, Melbourne International Airport, Melbourne, FL\*
- · Cape Canaveral Fire Station, 6 Bay, Cape Canaveral, FL
- Sarasota Fire Station, Sarasota, FL\*
- West Melbourne City Hall, 2-story, 13,920 SF, West Melbourne, FL
- Palm Bay Park Prototype, Palm Bay, FL\*
- Brevard County Parks and Community Center Prototype, Brevard County, FL\*
- Brevard County School Board Commissioning Contract, Brevard County, FL\*
- Cocoa Civic Center, Brevard County, FL\*
- Jensen Beach Community Center, Martin County, FL
- City of Gainesville Public Administration Building (LEED Silver), Gainesville, FL
- Moore Justice Center Expansion, Brevard County, FL
- Sanford City Hall Renovation, 17,200 SF, Sanford, FL

\* Previous firm experience

## 1. Project Name & Location

#### **Public Administration Building**

Gainesville, Florida

Project Manager:

David F. Green, Jr. - Senior Electrical Engineer

Completion Date (Actual or Estimated

Estimated Cost (In Thousands)

Entire Project

Work for which firm was/is responsible

\$13,500

Project Owners Name & Address

City of Gainesville PO Box 490, Station 58, Gainesville, Florida 32602-0490

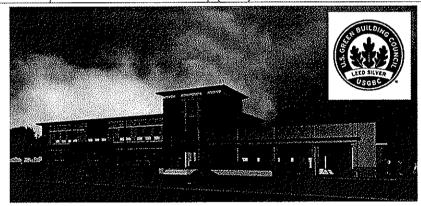
Project Owner's Contact Person,

Title, & Telephone Number

Teresa Scott, PE Director of Public Works (352) 334-2093

## Scope of Entire Project

Ingenuity Engineers, Inc., provided mechanical, electrical. plumbing, fire protection and LEED Silver engineering design services associated with designing this 18,000 square foot, hurricane-



hardened municipal building which includes office areas, staging areas, and emergency operations center areas.

## Nature of Firm's Responsibility in Project

Mechanical, electrical, plumbing, fire protection and LEED Design services.

#### Firm's Personnel

Brian S. Hessinger, P.E., LEED AP - Senior Mechanical Engineer Phil Rohm, CPE, LEED AP - Senior Plumbing Engineer

#### TEAM COMPOSITION

Name & Title: Philip J. Rohm, Jr., C.I.P.E., LEED AP - Principal

Project assignment: Sr. Plumbing Engineer

Name of firm with which associated: Ingenuity Engineers, Inc.

Years experience: 33 years

With this firm 5

With other firms 28

Education: Degree(s)/year/school/specialization:

Engineering Studies / 1977-1978 / Florida Junior College / Plumbing Engineering Engineering Studies / 1998-2000 / Valencia Community College / Plumbing Engineering

Active registration: Year first registered/discipline

1988 / C.I.P.E. (Certified In Plumbing Engineering)
Active Member, American Society of Plumbing Engineers (ASPE)

- Cobb County Fire Station #5, 10,400 SF, 2 bay, Marietta, GA
- · City of Gainesville Public Administration Building (LEED Silver), Gainesville, FL
- West Melbourne City Hall, 2-story, 13,920 SF, West Melbourne, FL
- Moore Justice Center Expansion, Brevard County, FL
- Sanford City Hall Renovation, 17,200 SF, Sanford, FL
- Sumter County Public Works Break Room & Office Renovation, 3,000 SF, Sumter County, FL
- Jensen Beach Community Center, Martin County, FL
- Volusia County Continuing Services Contract, Volusia County, FL.
- GSA, U.S. Citizenship and Immigration Services, Southeast Regional Office Renovation, 30,000 SF, Orlando, FL
- GSA, Secret Service Office Renovation, 10,000 SF, Orlando, FL
- U.S. Army Office Renovation and Expansio , 6,500 SF, Orlando, FL
- Veteran's Administration Renovation, 10,000 SF, Winter Park, FL

## TEAM COMPOSITION

Brief resume of key persons, specialists and individual consultants shall be assigned to the project.

Utilize one sheet per person. (Additional information may be attached)

Name & Title: Dan Engebretson, President
Project assignment: Principle in Charge, Engineer of Record
Name of firm with which associated: Structures One
Years experience:
With this firm 6 With other firms 20
Education: Degree(s)/year/school/specialization:
Master of Science in Engineering (Structures) University of South Florida Tampa, Florida
Bachelor of Science in Business Administration University of Florida Gainesville, Florida
Active registration: Year first registered/discipline Florida PE (Structures), 2000
Other experience and qualifications relevant to the proposed project:
Dan has been the Principle and/or Project Manager on projects totaling in the billions of dollars in construction costs. He has taught as an Adjunct Professor in Structures at the University of South Florida, and has served as a consulting engineer to the Florida Board of Professional Engineers. Dan is registered with NCEES the national engineer board and also holds a Threshold Inspectors license. Dan has designed multiple prototype structures including Elementary School, High Schools, and Post Offices in Hillsborough, Pasco, Pinellas, and Manatee County areas. Dan understand the specific design requirements and "big picture" items necessary to design a prototype project that can easily be build at multiple locations. Dan has also designed millions of square feet of renovations with the most notable being NETPARK which consisted of renovating an existing mall into a technical and medial office park. His knowledge and experience with prototypes and renovation will provide essential in making the renovation and prototype fire station projects a success.

## TEAM COMPOSITION

Brief resume of key persons, specialists and individual consultants shall be assigned to the project.

Utilize one sheet per person. (Additional information may be attached)

#### ILLUSTRATIVE WORK

Work by firm or joint venture members or outside key consultants which best illustrate current qualifications relevant to the County's project that have been/is being accomplished by personnel that shall be assigned to the County's project. List no more than ten (10) projects.

Project Name & Location  Multiple BB&T Banks	Project Owners Address	Name 8	
Project Manager, Engineer of Record:	BB&T (multiple addresses) Winston Salem, NC		
Completion Date (Actual or Estin	nated		
Estimated Cost (In Thousands)		Project Owner's Cor	ntact Person
Entire Project	Work for which firm was/is responsible	Title, & Telephone Nur Peter Falk	<u>nber</u>
\$1.21 million	\$8,500/ project	Project Manager T: (336) 777-3657	

Scope of Entire Project (Please give quantitative indications wherever possible)

Designed 17 BB&T Bank locations ranging is size from 3,500 to 5,000 square foot (3 prototypes). The bank designs included a Secure Design of a Vault along with drive through isles. These projects were located through out the State of Florida.



Nature of Firm's Responsibility in Project (Please give quantitative indications wherever possible)

Structures One provided structural engineering services including construction administrations and site visits for the BB&T Banks.

Firm's Personnel (Name/Project Assignment) That Worked on the Stated Project that Shall Be Assigned to the County's Project

Dan Engebretson – Principle Scott Beresheim – Project Manager

## FIRM COMPOSITION

Brief resume of key persons, specialists and individual consultants shall be assigned to the project. Utilize one sheet per person. (Additional information may be attached)

Name & Title: Donald A. Griffey, P.E. / President
Project assignment:
Project Manager / Civil Engineer
Name of firm with which associated:
Griffey Engineering, Inc.
Years experience:
With this firm 11 With other firms 17
Education: Degree(s)/year/school/specialization:
B.S.C.E. / 1981 / University of Florida
Active registration: Year first registered/discipline:
Florida / 1986 / Civil Engineering Georgia / 2002 / Civil Engineering
Other experience and qualifications relevant to the proposed project:
Mr. Griffey has been practicing Civil Engineering in Central Florida for over 26 years. The last 22 years he has worked in Lake County and has developed extensive knowledge of local conditions and challenges. Mr. Griffey has spent 3½ years working for local, Lake County engineering firms, nine years as the Engineering Director for Lake County, and the last 11 years as president of Griffey Engineering, Inc. He is familiar with all civil/site-engineering functions including design, permitting, construction, traffic engineering, and transportation impacts. Mr. Griffey has, in either public or private capacity, worked on innumerable projects both, large and small.

## FIRM COMPOSITION

Brief resume of key persons, specialists and individual consultants shall be assigned to the project. Utilize one sheet per person. (Additional information may be attached)

AT O TILL
Name & Title:
George S. Horton, P.E. / Senior Engineer
Project assignment:
Civil Engineering / Permitting
Name of firm with which associated:
Griffey Engineering, Inc.
Years experience:
With this firm 7 With other firms 1
Education: Degree(s)/year/school/specialization:
B.S.C.E. / 1999 / University of Florida
Active registration: Year first registered/discipline:
Florida / 2005 / Civil Engineering
Tionda / 2000 / Civil Engineering
Other experience and qualifications relevant to the proposed project:
Other experience and quantications relevant to the proposed project.
Mr. Horton has been working in civil/site engineering for the last 8 years. Through his work experience and
educational training, he has specialized in stormwater design and permitting with water management districts, FDOT, and local government agencies. In addition, Mr. Horton has been involved in full site plan development
and project management including geometric layout, potable water distribution, wastewater collection systems,
development review meetings, and construction services.

## ILLUSTRATIVE WORK

Work by firm or joint venture members or outside key consultants which best illustrate current qualifications relevant to the County's project that have been/is being accomplished by personnel that shall be assigned to the County's project. List no more than ten (10) projects.

4. Project Name & Location	4. Project Name & Location	
		Project Owners Name & Address
Sumter Co. Tax Collector & Property Appraisor, Bushnell		Sumter County Board of
		County Commissioners
		910 N. Main Street
		Bushnell, Florida 33513
Project Manager: George Horton		
Completion Date (Actual or Estimat	ed	
December 2008		
Estimated Cost (In Thousands)		Project Owner's Contact Person, Title,
Entire Project	Work for which firm was/is responsible	& Telephone Number
	1	Doug Conway,
\$	\$	Administrative Division Project Manager
		(352) 793-0279
Scope of Entire Project (Please give	quantitative indications where	ver possible)
Expansion of facility, Addition of new	driveway access.	
·		
		: 17 4: 1 (ILI)
Matura of Eirmia Dognongibility in D	raidat / Placed aira airantitatire	
Nature of Firm's Responsibility in P	roject (Please give quantitative	andications wherever possible)
Nature of Firm's Responsibility in P  Develop Civil site plan. Secure SWF	•	
•	•	
•	•	
•	•	
•	•	
Develop Civil site plan. Secure SWF	WMD permitting / permit determina	
Develop Civil site plan. Secure SWF	WMD permitting / permit determina	ation.

Donald A. Griffey D. Michael King

## ILLUSTRATIVE WORK

Work by firm or joint venture members or outside key consultants which best illustrate current qualifications relevant to the County's project that have been/is being accomplished by personnel that shall be assigned to the County's project. List no more than ten (10) projects.

4. Project Name & Location		Project Owners Name & Address
Center Hill Fire Station		
Contain the Clause		Sumter County Board of
		County Commissioners
		910 N. Main Street
Project Manager: George Horton		Bushnell, Florida 33513
Completion Date (Actual or	<u>Estimated</u>	
December 2008		
Estimated Cost (In Thousand		Project Owner's Contact Person, Title
Entire Project	Work for which firm was/is responsible	& Telephone Number
		Doug Conway,
\$	\$	Administrative Division Project Manager (352) 793-0279
Scope of Entire Project (Plean Expansion of facility, Addition	ase give quantitative indications where of new driveway access.	l ever possible)
Nature of Firm's Responsibil	ity in Project (Please give quantitative	e indications wherever possible)
Develop Civil site plan. Secu	re SWFWMD permitting / permit determina	ation.

Firm's Personnel (Name/Project Assignment) That Worked on the Stated Project that Shall Be Assigned to the County's Project

George S. Horton / Project Manager Donald A. Griffey D. Michael King

## ILLUSTRATIVE WORK

Work by firm or joint venture members or outside key consultants which best illustrate current qualifications relevant to the County's project that have been/is being accomplished by personnel that shall be assigned to the County's project. List no more than ten (10) projects.

4. Project Name & Location		Project Owners Name & Address
Lake Panasoffkee Community Library  Project Manager: George Horton		Sumter County Board of County Commissioners 910 N. Main Street Bushnell, Florida 33513
Completion Date (Actual or Estin	nated	
December 2008		
Estimated Cost (In Thousands)		Project Owner's Contact Person, Title
Entire Project	Work for which firm was/is responsible	& Telephone Number
\$	\$	Doug Conway, Administrative Division Project Manager (352) 793-0279
Expansion of facility, Addition of ne	ew driveway access.	
Nature of Firm's Responsibility in	n Project (Please give quantitative	e indications wherever possible)
	VFWMD permitting / permit determina	
	Assignment) That Worked on the	e Stated Project that Shall Be Assigned t

D. Michael King

## TEAM COMPOSITION

Brief resume of key persons, specialists and individual consultants shall be assigned to the project.

Utilize one sheet per person. (Additional information may be attached)

Name & Title:
Larry J. Trobough, Principal Consultant
Project assignment:
Design of technology and low-voltage systems.
Name of firm with which associated:
Technology Research & Consulting, Inc.
Years experience:
With this firm8 With other firms25
Education: Degree(s)/year/school/specialization:
N/A
Active registration: Year first registered/discipline
N/A
Other experience and qualifications relevant to the proposed project:
BICSI Certified Registered Communications Distribution Designer (RCDD) since 1995

## **ILLUSTRATIVE WORK**

1. Project Name & Location		_
City of Orlando Fire Station #7 Orlando, Florida		Project Owners Name & Address
Project Manager: Abe Jardaneh, PE, City of Orlando		City of Orlando 400 South Orange Avenue Orlando, Florida 32801
Completion Date (Actual or Estin	nated	
Construction Completed in 2009		
Estimated Cost (In Thousands)		Project Owner's Contact Person,
Entire Project	Work for which firm was/is responsible	Title, & Telephone Number
	responsible	Miguel Sierra, Facility Engineer
\$2,350,000.00	\$2000.00	407-836-9510
Scope of Entire Project (Please give of	quantitative indications where	ver possible)
Construction of a new Fire Station.		
Nature of Firm's Responsibility in Proje	ect (Please give quantitative	indications wherever possible)
Design and Construction Administration Dispatch/Paging, Audio/Video, and Act		ble Infrastructure, TV Distribution,
Firm's Personnel (Name/Project Assignoise to the County's Project	gnment) That Worked on the	Stated Project that Shall Be Assigned
Larry J. Trobough, RCDD, Technology	y and Low-Voltage Consultan	t

### ILLUSTRATIVE WORK

1. Project Name & Location		
Orange County Fire Station #20 Zellwood, Florida		Project Owners Name & Address
Project Manager: Tim Groth/Jose Baerga, Orange Coun	ty	Orange County Government 201 S. Rosalind Avenue Orlando, Florida 32801
Completion Date (Actual or Estin Construction completed in 2006	nated	
Estimated Cost (In Thousands)		Project Owner's Contact Person,
Entire Project	Work for which firm was/is responsible	Title, & Telephone Number
\$1,000,000.00	\$1,000.00	Miguel Sierra, Facility Engineer 407-836-9510
Construction of a new Fire Station  Nature of Firm's Responsibility in Projection  Design and Construction Administ Distribution, and Dispatch/Paging systems	ration services for Fire A	indications wherever possible) larm, Voice/Data Infrastructure, TV
Firm's Personnel (Name/Project Assignments of the County's Project Larry J. Trobough, RCDD, Technology		Stated Project that Shall Be Assigned Consultant

#### **ILLUSTRATIVE WORK**

1. Project Name & Location		
		Project Owners Name &
City of Orlando Fire Station #17		Address
Orlando, Florida		
Project Manager:		City of Orlando 400 South Orange Avenue
Abe Jardaneh, PE, City of Orlando		Orlando, Florida 32801
		,
Completion Date (Actual or Estin	mated	
Construction completed in 2007		
Construction completed in 2007		
Estimated Cost (In Thousands)		Project Owner's Contact Person,
Entire Project	Work for which firm was/is	Title, & Telephone Number
	responsible	Miguel Sierra, Facility Engineer
\$2,350,00.00	\$2,325.00	407-836-9510
, <b>42</b> ,333,3313		
	tit till indications where	luor possiblo)
Scope of Entire Project (Please give	quantitative mulcations where	ver possible)
Construction of a new Fire Station		
Nature of Firm's Responsibility in Proj	ect (Please give quantitative	indications wherever possible)
Design and Construction Administ	ration services for Fire A	larm, Voice/Data Infrastructure, TV
Distribution, and Dispatch/Paging sys	iems.	
Firm's Personnel (Name/Project Assi	gnment) That Worked on the	Stated Project that Shall Be Assigned
to the County's Project		
I I Turk was DODD Tasks also	wand Law Valtaga Cyatama	Concultant
Larry J. Trobough, RCDD, Technolog	y and Low-voitage Systems (	oonsuitant
İ		

### ILLUSTRATIVE WORK

14 Project Name & Location		
Project Name & Location		Project Owners Name &
City of Orlando Fire Station #15		Address
Orlando, Florida		
		City of Orlando
Project Manager:		400 South Orange Avenue
Abe Jardaneh, PE, City of Orlando		Orlando, Florida 32801
Completion Date (Actual or Estir	nated	
Construction completed in 2007		
·		
Estimated Cost (In Thousands)		Project Owner's Contact Person,
Entire Project	Work for which firm was/is	<u>Title, &amp; Telephone Number</u>
	responsible	Miguel Sierra, Facility Engineer
\$2,350,00.00	\$2,325.00	407-836-9510
ψ2,000,00.00	<b>42,023.00</b>	
Scope of Entire Project (Please give	quantitative indications where	ver possible)
Our twenting of a most Fire Station		
Construction of a new Fire Station		
Nature of Firm's Responsibility in Proj	ect (Please give quantitative	indications wherever possible)
Docian and Construction Administ	ration services for Fire A	larm, Voice/Data Infrastructure, TV
Distribution, and Dispatch/Paging sys		ann, verse, bata ninaed serait,
Biotribation, and Biopatorio aging sys		
Firm's Personnel (Name/Project Assi	gnment) That Worked on the	Stated Project that Shall Be Assigned
to the County's Project		
		Consultant
Larry J. Trobough, RCDD, Technolog	y and Low-voltage Systems (	ouroundiil

## **ILLUSTRATIVE WORK**

<ol> <li>Project Name &amp; Location</li> </ol>		n : O N
		Project Owners Name &
City of Orlando Fire Station #16		Address
Orlando, Florida		
Project Manager:		City of Orlando
Abe Jardaneh, PE, City of Orlando		400 South Orange Avenue
Abe Jardanen, 1 E., Oily of Orlando		Orlando, Florida 32801
Completion Date (Actual or Estin	nated	
Construction completed in 2007		
Construction completed in 2007		
Estimated Cost (In Thousands)		Project Owner's Contact Person,
Entire Project	Work for which firm was/is	Title, & Telephone Number
Little 1 rejoct	responsible	
	,	Miguel Sierra, Facility Engineer
\$2,350,00.00	\$2,325.00	407-836-9510
Scope of Entire Project (Please give	quantitative indications where	ver possible)
Construction of a new Fire Station		
Nature of Firm's Responsibility in Proj	ect (Please give quantitative	indications wherever possible)
Nature of Firm a Responsibility not 19	<u>oo.</u> (, loado g., o quantitant s	, ,
Design and Construction Administ	ration services for Fire A	larm, Voice/Data Infrastructure, TV
Distribution, and Dispatch/Paging sys	tems.	
Firmta Dargannal (Nama/Draiget Agai	anment) That Worked on the	Stated Project that Shall Be Assigned
	gimient) That Worked on the	Otalog Project trat Onair Bo Projector
to the County's Project		
Larry J. Trobough, RCDD, Technolog	v and Low-Voltage Systems (	Consultant
Larry 6. Trobbodgil, Trobbs, Toolinolog	,	

100 D

#### **OUTSIDE KEY CONSULTANTS**

If respondent is not a joint venture, list outside key consultants/associates that shall be used for the proposed project. (Form may be reproduced if additional space is necessary.) Include resume of all individuals assigned to this project including projects they have worked on and contact names for each.

#### Company Name: Ingenuity Engineers, Inc.

## Address of office proposed for this project: 4798 New Broad St, Orlando, FL 32814

Role (i.e. Civil Engineering, Environmental, Landscape Architectural)	Projected % of Over-All Work on Entire Project	Name of Individual Assigned to this Project	Firm Worked with prime before (Yes or No)	Individual Worked with prime before (Yes or No)
Mechanical Engineering Plumbing Fire Protection	25%*	Brian Hessinger, P.E., LEED AP Chief Operating Officer Sr. Mechanical Engineer  David Green, Jr. Electrical Engineer  Phil Rohm, Sr. Principal Sr. Plumbing Engineer	Yes	Yes

Attach resume and projects.

#### Company Name: Structures One

## Address of office proposed for this project: 1305 W. Linebaugh Ave., #102, Tampa, FL 33626

Role (i.e. Civil Engineering, Environmental, Landscape Architectural)	Projected % of Over-All Work on Entire Project	Name of Individual Assigned to this Project	Firm Worked with prime before (Yes or No)	Individual Worked with prime before (Yes or No)
Structural Engineer	7%*	<b>Dan Engebretson, PE</b> Project Manager	Yes	Yes

Attach resume and projects.

## Company Name: Griffey Engineering, Inc

## Address of office proposed for this project: 33 N Center Street, Suite B, Eustis, FL 32726

Role (i.e. Civil Engineering, Environmental, Landscape Architectural)	Projected % of Over-All Work on Entire Project	Name of Individual Assigned to this Project	Firm Worked with prime before (Yes or No)	Individual Worked with prime before (Yes or No)
Civil Engineering	5%*	Donald A. Griffey, PE Project Manager George S. Horton, PE Civil Engineering	No	No

### Company Name: Technology Research & Consulting, Inc.

## Address of office proposed for this project: 437 Gaston Foster Rd Orlando, FL 32807

Role (i.e. Civil Engineering, Environmental, Landscape Architectural)	Projected % of Over-All Work on Entire Project	Name of Individual Assigned to this Project	Firm Worked with prime before (Yes or No)	Individual Worked with prime before (Yes or No)
Design of technology and low- voltage systems.	3%*	Larry J. Trobough, RCDD Technology Manager	Yes	Yes

Attach resume and projects.

#### \* Projected % of work assigned are estimates at this time.

Are there any contractual a	agreements	between	the responder	nt (prime	consultant)	and any	of the
proposed sub-consultants'	? yes	<u>X</u>	_ no				

If the answer is yes, the respondent shall attach, with their submittal, information describing the contractual relationship including a copy of any written contractual agreement.

Not Applicable

Tab E

#### **LOCATION**

1. Specify address of Prime Consultant's designated office where the majority of work on this project will be performed:

Baker Barrios Architects, Inc. 189 S. Orange Avenue, Suite 1700 Orlando, FL 32801

2. Indicate percentage of total <u>over-all</u> project fees projected to be performed on this project by the Prime Consultant's office specified above. (Do not include percentage of fees anticipated to be performed on this project by sub-consultants)

60%

3. Specify address of Prime Consultant's other office)s) where any part of the work on this project will be performed (if applicable):

Not Applicable

4. Indicate percentage of total <u>over-all</u> fees projected to be performed on this project by the office specified above. Do not include percentage of fees anticipated to be performed on this project by subconsultants.

Not Applicable

%

5. Indicate percentage of total <u>over-all</u> fees projected to be performed on this project by firms located within Sumter County including the prime consultant and sub-consultants, utilizing information supplied above and on Form 2.

<u>0</u>%

TODE

#### Cobb County Fire Station #5

Cobb County, Georgia

Project Manager:

Travis Vickers, AIA

Project Owners Name & Address

Cobb County Marietta, Georgia 57 Waddell Street

Marietta, Georgia 30060

## Completion Date (Actual or Estimated

#### 2008

Estimated Cost (In Thousands)
-------------------------------

Entire Project

was/is responsible

Work for which firm Project Owner's Contact Person,
Title, & Telephone Number

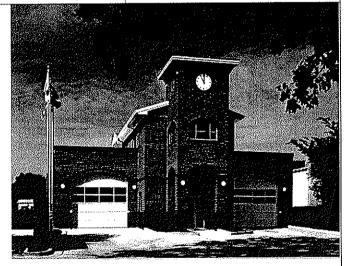
Allen Kronenberger Project Manager (770) 528 -2187

\$2,340

\$2,340

## Scope of Entire Project

Cobb County Fire Station #5 is a 10,400 square foot, single story, two bay "backin" fire station building. The facility has a built-out basement level and is capable of housing 74-feet of truck space in each of the two bays. The building includes living quarters for 10 persons, a common area with cooking, dining, tv room and fitness room, administrative office areas, and mechanical spaces. The structure includes a 1,000 square foot community room with storage and toilets and shower facilities. Project was CM at Risk.



#### Nature of Firm's Responsibility in Project

Master Planning, Programming, Architecture, Interior Design, Construction Administration and Construction Phase Services

#### Firm's Personnel

Carlo Barrios, AIA - Principal-In-Charge

Tim Baker, AIA - Design Principal

David F. Green, Jr. - Senior Electrical Engineer (Ingenuity Engineers)

Brian S. Hessinger, P.E., LEED AP - Senior Mechanical Engineer (Ingenuity Engineers)

Phil Rohm, CPE, LEED AP - Senior Plumbing Engineer

Jacksonville Beach Fire Station 2

Jacksonville Beach, Florida

Project Manager:

Carlos Barrios, AIA

Project Owners Name & Address

Jacksonville Beach Central Services Department 1460 A Shetter Avenue Jacksonville Beach, FL 32250

Completion Date (Actual or Estimated

2000

Estimated Cost (In Thousands)

Entire Project

Work for which firm was/is responsible

\$701

Project Owner's Contact Person, Title, & Telephone Number

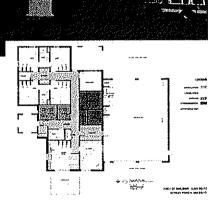
Gary Frazer Project Manager ( 904) 247-6201

\$701

Scope of Entire
Project
Baker Barrios

Baker Barrios
Architects, Inc.
worked on a design
/build fire station for
the City of
Jacksonville Beach.
Designed to blend
in with its
surroundings, the
two-story building is

surroundings, the two-story building is 5,051 SF and is designed to house a fitness room, dinning room, and five person dorm and administration offices.



### Nature of Firm's Responsibility in Project

Master Planning, Programming, Architecture, Construction Administration and Construction Phase Services

#### Firm's Personnel

## Reedy Creek Fire Station No. 4 and Emergency Services Building

Lake Buena Vista, Florida

Project Manager:

Carlos Barrios, AIA

Project Owners Name & Address

Reedy Creek Improvement District

1900 Hotel Plaza Boulevard Lake Buena Vista, FL

## Completion Date (Actual or Estimated

#### 2003

\$3,500

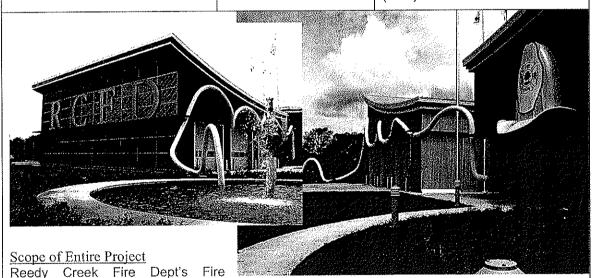
Estimated Cost (In Thousands)

Entire Project Work for which firm was/is responsible

\$3,500

Project Owner's Contact Person, Title, & Telephone Number

Mickey Shiver Deputy District Administrator (407) 828-2241



Station No. 4 and Emergency Services Building is fully equipped to handle the demands of Walt Disney World Resorts and the surrounding area. The 19,468 SF complex provides a centralized, state-of-the-art, 24-hour emergency services complex with a 2,050 SF Sheriff's Office, 5,432 Information Services Dept and an 11,968 SF fire station with a living quarters.

#### Nature of Firm's Responsibility in Project

Architect of Record

#### Firm's Personnel

4. Project Name & Location	Project Owners Name & Address			
Reedy Creek Fire Station No. 2				
Lake Buena Vista, Florida				
		Reedy Creek Improvement		
Project Manager:		District		
Carlos Barrios, AIA		1900 Hotel Plaza Boulevard		
		Lake Buena Vista, FL		
Completion Date (Actual or Estimated				
1999				
Estimated Cost (In Thousands)	Project Owner's Contact Person.			
Entire Project	Work for which firm	Title, & Telephone Number		
,	was/is responsible			
	-	Mickey Shiver		
\$1,004	\$1,004	Deputy District Administrator		
/-		(407) 828-2241		

Scope of Entire Project

Reedy Creek Improvement District's new Fire Station was designed to meet the increased demands placed on the district's Department of Emergency Services by the continued growth of Walt Disney World Resorts. The facility is self-sustaining and augments the district's 24-hour fire, rescue and emergency medical services.



### Nature of Firm's Responsibility in Project

Architecture and Interior Design

### Firm's Personnel

Oviedo Fire Station No. 2

Oviedo, Florida

Project Manager:

Carlos Barrios, AIA

Project Owners Name & Address

City of Oviedo 400 Alexandria Blvd.

Oviedo, FL 32765

Completion Date (Actual or Estimated

1997

\$1,004

Estimated Cost (In Thousands)

Entire Project

Work for which firm was/is responsible

\$1,004

Project Owner's Contact Person, Title, & Telephone Number

Bobby Wyatt (407) 971-5640

Scope of Entire Project

A historic building in downtown Oviedo was converted to a 10,000 SF Fire Station with three drive-thru bays. Due to the historic nature of the building, extensive research was undertaken to ensure that the design honored the Old Florida Cracker vernacular to achieve an image of timeless architecture. The project includes living quarters with 8-unit living quarters, captain / officer's quarters, a control / radio room, a





Nature of Firm's Responsibility in Project

Architecture and Interior Design

Firm's Personnel

The Villages

Lake Sumter Landing at The Villages, Florida

Project Manager:

Ray Acosta, AIA, Principal

Project Owners Name & Address

The Villages 1100 Main Street The Villages, FL 32159 United States of America

Completion Date (Actual or Estimated

2004

Estimated Cost (In Thousands)

Entire Project

\$70,000

Work for which firm was/is responsible

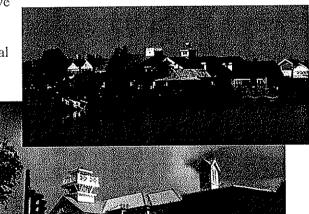
\$70,000

Project Owner's Contact Person, Title, & Telephone Number

Tracy Mathews (352) 753-6239

Scope of Entire Project (Please give quantitative indications wherever possible)

28 Building Village that includes: Commercial Office, Retail, Restaurant, Movie Theaters, Civic Center



Nature of Firm's Responsibility in Project

Master Planning, Architecture (Architect of Record), Interior Design

Firm's Personnel

#### 7. Project Name & Location Project Owners Name & Address Prototype Fire Stations #28, #29, and #30 Orange County, FL Orange County Capital Projects Department Project Manager: 500 E South Street, Suite 500 Tim Baker, AIA Orlando, FL 32801 Completion Date (Actual or Estimated 2000 Project Owner's Contact Person, Estimated Cost (In Thousands) Title. & Telephone Number Work for which firm Entire Project was/is responsible Jody Strickland, Project Manager (407) 836-0050 N/A N/A Personal lookers Scope of Entire Project The design layout of the fire stations made was maximize floorplan space. The room locations have been determined their that so individual functions and DORMITORY AREA inter-relationships NOTE: Pario is not included in 6000 square float building D/S Criteria may complement

each other as a whole. This results in an overall floor plan that is logical, practical, and efficient. The area of the floor plan, including the two-bay Apparatus Room but not including the pa tio, is 6,000 square feet and is one-story in height. We have worked with Orange County, Florida in developing the original fire station prototype for the two and three bay stations. We completed Fire Station # 70, Fire Station # 28 and Fire Station # 29 in Orange County.

#### Nature of Firm's Responsibility in Project

concept design, programming and planning

#### Firm's Personnel

#### ILLUSTRATIVE WORK

Work by firm or joint venture members or outside key consultants which best illustrate current qualifications relevant to the County's project that have been/is being accomplished by personnel that shall be assigned to the County's project. List no more than ten (10) projects.

8. Project Name & Location		Project Owners Name & Address	
Orange County Sheriff's Com	olex		
Orlando, Florida		Orange County	
Project Manager: Ray Acosta, AIA	Department of Capital Projects 400 E. South Street Suite 500		
	. 10	Orlando, FL 32801	
Completion Date (Actual or Estimated)			
December 2002 (Phase I)			
Estimated Cost (In Thousands)		Project Owner's Contact Person.	
Entire Project	Work for which firm was/is responsible	Title, & Telephone Number Mr. Jody Strickland Project Manager	
\$7,400	\$388 (design fee)	(407) 836-0050	

Scope of Entire Project (Please give quantitative indications wherever possible)

Forensic Laboratory, High Security, Training Facility, Credit Union

Nature of Firm's Responsibility in Project (Please give quantitative indications wherever possible)

Baker Barrios Architects, Inc. provided comprehensive planning, architecture and interior design services for the total conversion and renovation of a 220,000 SF, 2-story abandoned Montgomery Ward Store on Colonial Drive in Orlando. The multi-phased project is the new Central Complex for the Orange County Sheriff's Office and houses offices, a laboratory, a credit union and training facility.



Firm's Personnel (Name/Project Assignment) That Worked on the Stated Project that Shall Be Assigned to the County's Project

Carlos Barrios, AIA – Principal-In-Charge Ray Acosta, AIA – Project Manager

#### ILLUSTRATIVE WORK

## 9. Project Name & Location

### 801 N Orange

Orlando, Florida

Project Manager: Jeff McComas, AIA

110 oct III anageri

Completion Date (Actual or Estimated)

2006

Estimated Cost (In Thousands)

Entire Project

\$16,400

Work for which firm was/is responsible

\$16,400

Project Owners Name & Address

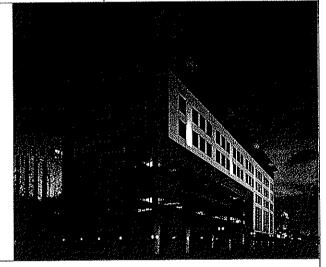
Uster Properties, Inc. 801 N Orange Avenue Suite 530 Orlando, FL 32801

Project Owner's Contact Person,

Title, & Telephone Number

Craig Ustler, Principal (407) 839-1070

Scope of Entire Project (Please give quantitative indications wherever possible) Administrative Offices This eight-story urban mixed-use project is a key architectural feature in the city's expanding downtown. The building houses 96,000 SF of office space, and 16,500 SF of retail and restaurant space, as well as a 364-car parking garage to serve this rapidly developing area.



## Nature of Firm's Responsibility in Project

Master Planning, Programming, Architectural Design, Construction Documents and Construction Administration

Firm's Personnel (Name/Project Assignment) That Worked on the Stated Project that Shall Be Assigned to the County's Project

Carlos Barrios, AIA – Principal-In-Charge Tim Baker, AIA – Design Principal Scott Martin, LEED AP – Project Designer Michael Houseman, AIA, LEED AP – Project Director

#### ILLUSTRATIVE WORK

#### 10. Project Name & Location

## **Education and Human Services Building University of North Florida**

Jacksonville, Florida

Project Manager: Mike Houseman, AIA, LEED AP

Completion Date (Actual or Estimated)

2009

Estimated Cost (In Thousands)

Entire Project

\$21,000

Work for which firm was/is responsible

\$21,000

Project Owners Name & Address

University of North Florida College of Education and Human Services

1 UNF Drive Jacksonville, FL 32224

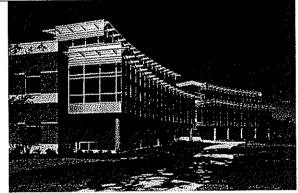
Project Owner's Contact Person, Title, & Telephone Number

Larry Daniel, Dean (904) 620-2520

Scope of Entire Project

98,000 SF, 3story classroom and office building with specialized research labs. LEED Design Silver.





## Nature of Firm's Responsibility in Project

Comprehensive planning, architecture and interior design, construction documents, construction administration and LEED Design Services.

Firm's Personnel (Name/Project Assignment) That Worked on the Stated Project that Shall Be Assigned to the County's Project

Carlos Barrios, AIA – Principal-In-Charge Tim Baker, AIA – Design Principal Scott Martin, LEED AP – Project Designer Jeff McComas – Project Architect Tob G

#### **VOLUME OF WORK**

Prime Consultant's volume of work performed for the Sumter County Board of County Commissions
As a prime consultant and as a sub consultant – currently and previously

Not Applicable – We have not performed any work for the Sumter County Board of County Commissions as a prime consultant or as a sub consultant.

Name of Project (include continuing contracts)	Prime or Sub	Total Contracted Fee Amount	Approximate date of award of contract

TOD H



#### Firm Profile

Baker Barrios Architects, Inc., was **incorporated in 1993** in Orlando, Florida with the vision of establishing a legacy based on creative excellence, innovative solutions and long-term relationships. Since its inception, Baker Barrios Architects, Inc. has grown from a local professional design firm in Orlando, Florida to a cohesive network of offices in Tampa and Atlanta.

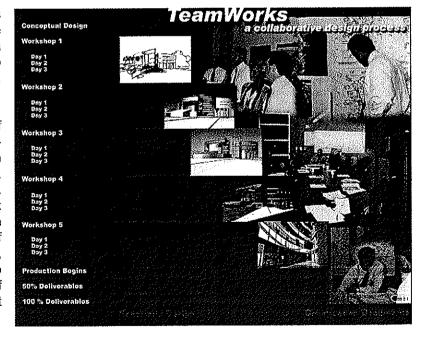
The firm's operating principals, along with our dedicated staff of over 60 professionals provide full-service architectural, interior design and construction administration services. Our staff of well-trained and experience professionals listen to the client's needs and desires, and then translate these goals into a projects design. Baker Barrios Architects, Inc. provides clients with a proven track record in the coordination of production, master planning, visual and creative design, design quality and the provision of quality control while maintaining the project's construction budget. Our high level of involvement and follow-through to the project's completion ensures that the Owner's objectives are met and the integrity of design is maintained even after Owner/Tenant occupancy.

Baker Barrios Architects, Inc. attributes its success to a core philosophy that is carried throughout every aspect of the organization: **Our business is service.** 

#### **Project Management**

Our approach to expediting and executing projects is based on the BBA *Teamworks* concept. The *Teamworks* method relies on the establishment of a strong project leader (PM), Mike Houseman, who serves as the principal point of communication, authority and accountability.

Our *Teamworks* workshops are not a single kick-off session, rather a series of multiple collaborative sessions that nurture creative solutions and interaction with Sumter County, the Fire Services Department, Consultants and the Construction Manager. Beginning at the first "kick-off" session we will work together to begin this process of developing a high level of trust and comfort that enhances the flow of ideas. During this process we brainstorm, discuss, verify, modify, delete and incorporate information into the design of your project. The process is one of always moving forward, shortening the project design duration due to correct decision-making.



In tandem with our *Teamworks* sessions, we utilize our computer generated design, rendering and modeling technologies to incorporate and visually reflect the design decisions made during those workshops. Our clients' planning and project management departments, user groups and other stakeholders as well as the construction manager and consultants find that the *Teamworks* application of those technologies facilitate understanding and decision making. Our software technologies allow all involved in the workshops to clearly understand the project scope, design and building system details that produce more accurate costs and tighter schedules.

This process will be of great benefit in preparing cost models and/or estimates to establish an initial construction budget and to determine whether the design is still within the pre-established budget.

Barrios

### **Total Quality Assurance Program**

BBA's Total Quality Assurance (TQA) Program ensures that our work is complete, reliable, and of sound quality. The BBATQA program - overseen by our Technical Director, Carlos Barrios, AIA, who has over 30 years of project quality assurance/quality control experience - requires that all drawings and related documents are reviewed for completeness, referencing, coordination and constructability before being released from our office. BBA's TQA Program enhances quality control throughout the entire process. Once documents are completed they're submitted for further revision for constructability and completion.

The Total Quality Assurance Program focuses on six keys to quality and checking:

- Create Workplan and cartoon set
- 2. Comprehensive checklists
- 3. Office standards and lessons learned
- 4. TEAM-CHECK (REDI-CHECK)
- 5. Independent review
- 6. Empowerment and accountability of Project Manager and each team member

Quality Assurance is embraced as a team concept, which helps ensure a high quality product.



#### **Design Ability**

Baker Barrios Architects was awarded Central Florida's Best Architecture Firm by the Orlando Business Journal in 2007.

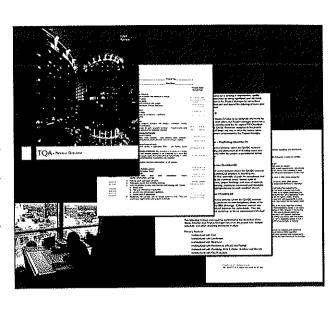
Our architecture and interior design studios work in tandem to ensure that all buildings are constructed for their life cycle and goals. We provide expertise and leadership in creating buildings and environments that uniquely respond to our clients' needs. By listening to what the client really needs and desires, and translating those goals into a project's budget and occupancy milestone, we develop environments that accommodate new technologies, expansions, and effective and flexible workplace design that promote durability, cost effectiveness and future growth.



#### **MBE** Certified

BBA is dedicated to providing clients with the highest quality of service in the field of Architecture and Interior Design. As part of this commitment, the company continually seeks to create a truly diverse employee base and work environment in order to ensure that the most innovative design solutions are made available to our clients. It is BBA's policy to strive to promote the creative and professional growth of this varied and highly talented workforce and this superior work environment. Baker Barrios Architects, Inc. (BBA) is currently certified as a Minority Owned Business Enterprise with the City of Orlando.





#### Schedule and Cost Control

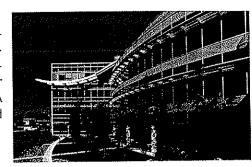
Budget control for your project will start with the initial programming effort. This effort is all about finding a balance between the needs of potential users, the quality required by Sumter County and the funds available. With each modification to the program and during the pre-design process, cost estimates are re-generated to understand the impact on the project budget. Once the program is agreed upon, our team will begin the process of breaking down the project budget into its component parts, i.e., the exterior envelope, the mechanical system, etc. Each project component can be tracked separately. This will allow for thoroughness in both project and cost management. The component budget is tracked by quantity and by unit cost throughout the design process. At each phase, the design is repeatedly analyzed by both the design team and the construction manager. Our understanding of the local construction market, with up-to-date price information will allow the design team to develop designs that will stay within the budget.

Project	Original Construction Budget	Final Project Cost	Original Duration of Schedule	Final Duration of Schedule	Dollar Amount of Change Orders
Allied Health & Science Valencia Community College	\$19,469,088	\$18,000,000	390 days	365 days	\$1,968,449 savings
Psychology University of Central Florida	\$12,479,536	\$10,414,507	424 days	484* days *Owner requested changes	\$2,065,029 savings
Education and Human Services Building University of North Florida	\$21,194,717	\$17,140,724 (estimated project is in construction)	359 days	N/A - in construc- tion	\$3,967,422 sav- ings
C. W. Bill Young Hall University of South Florida	\$9,099,000	\$10,909,700*	730 days	820* days *Owner requested changes	\$1,810,000
OUC Reliable Orlando Utilities Commission	\$40,093,412	\$34 million	398 days	510 days	\$390,000 savings



#### Sustainable Design

Of increasing importance to clients is our familiarity and expertise with sustainable design. Designing a LEED certified building does not need to be complicated. Our approach to designing "Green" buildings is a holistic design, management and construction process. BBA conducts "Green" workshops as part of our Teamworks process, in order to identify sustainable design opportunities. BBA is a member of the U.S. Green Building Council and has LEED 2.0 Accredited Professionals on staff.



Our clients in the effort to achieve LEED certified buildings include:

- Discovery Tech Center II Gold Level Core & Shell
- Orlando Utilities Commission Gold Level
- Valencia Community College, Allied Health & Science Gold Level
- University of North Florida, Education and Human Services Building Silver Level
- Barona Administration Building and Tribal Services Center LEED Certification
- Department of Homeland Security, US Citizen and Immigration Services LEED Certification
- Hensel Phelps Southeast District Office Gold Level
- University of Central Florida, Morgridge International Reading Center Silver Level
- MYX Café LEED Certification
- Dr. P. Phillips Performing Arts Center LEED
- Corus Group, LLC Exterior Renovation Gold Level
- GAI Office Building LEED Certification

## **Testimonials / Reference Letters**

Baker Barrios Architects, Inc. attributes its success to a core philosophy that is carried throughout every aspect of the organization: **Our business is service.** 

We endeavor to service our client's needs and our client's often recognize this by giving us repeat work. We have continued this tradition with all of our clients.

The following pages showcase letters of recommendation for Baker Barrios Architects, Inc.

"We are pleased to once again have Baker Barrios Architects join the development team of one of our projects. We have a long-standing relationship and I'm confident that their team of architects and designers will deliver a design that Taurus will be proud of."

Jeff K. McFadden, SIOR Taurus Southern Investments Managing Partner





# Sheriff Kevin Beary COUNTY SHERIFFS OFFICE

P.O. Box 1440, Orlando, Florida 32802-1440 Visit us on the Internet: http://www.ocso.com

Mr. Carlos Barrios Baker Barrios Architects 300 S. Orange Avenue Suite 900 Orlando, FL 32804

Dear Mr. Barrios:

Over the past five years, you and your staff have been tasked with designing and implementing the design of the new Sheriff's Central Operations Center. During this time we have relied on the training and expertise of your firm heavily. My staff and I have been very pleased with the outcome of your work as we complete the third and final phase. During all three phases we have able to rely on Baker Barrios Architects develop solutions to ours space problems and provide use with functional and attractive space to serve the needs of the Citizens and guests Orange County. The solutions were not always easy to achieve as we were renovating an existing building that is over forty years old, but you and your capable staff never failed meet our needs. I highly would recommend Baker Barrios Architects to anyone who is in need of architectural services.

Sincerely

Kevin Deary

Sheriff of Orange County

"West Point is a national treasure; our standards for construction are very high, which the public rightly demands and expects. We hold BBA in extremely high regard and trust them implicitly. Without reservation, I would strongly recommend their services to anyone and would stake my own reputation on their success. BBA has transformed the way in which the West Point Association of Graduates manages privately-funded construction at the United States Military Academy.

The total value of projects managed for the West Point Association of Graduates by BBA exceeds \$100 million. In every case, we have always met or come under the initial project budget. BBA has saved our Association and West Point literally millions of dollars."

Greg Louks formerly with West Point Association of Graduates



The First Agency in Orange County to Receive Both International and State Accreditation



"The Osceola County Building and Development Department would like to compliment Baker Barrios Architects, Inc. for its consistency on all of its construction drawings reviewed for Osceola County projects.

Baker Barrios' superior standards for excellence shows. Because of your firm's consistency in producing construction drawings without need for AHJ comments our job is made easier and in turn keeps project costs down.

Baker Barrios is a pleasure to work with. We look forward to working with you on future endeavors and are pleased to recommend your firm for future projects in Osceola County."

Wayne Smith Commercial Plans Review , Osceola County Building and Development Department



#### PROPERTY MANAGEMENT DEPARTMENT

37 Yeath 2 Surst, NE. Market, Carpyla Market His Phone: (770) 528-2700 | fan: (770) 520-284

John A. Reida Duccrose

Allen Kniwenberger Property Manager Celsh County Property Management S/ Waddell Street Manager, GAVIOSO

Mr. Travix Vickers Principal Raker Barrios Architects, Inc. 730 Practance St. Suite 300 Atlanta, GA 30308

He: Cobb County Fire Station 5 Architectural and Interior Design Services

Door Travis

On behalf of Cobb County Property Management I want to extend our gratitude to you and Baker Darries Architects. Your from has provided extraordinary architecture and interior design services for the Cobb County Fire Station 5 project. We have thoroughly enjoyed the collaborative design process and the degree of personal attention and service we have received from your from.

Throughout the Fire Station 5 project, we trave been impressed by your firm's ability to think cutride the hot during programming, create 30 reoferings that gave no impressive preview of the building being decigored, and the extensive attention to detail during the construction place.

We have found your architects and interior designers to be very professional and we appreciate the Principal involvement throughout the entire process. You and your team listen, respect and follow through. Your team has successfully belief us achieve the vision we want, within our budget.

After such a successful project as Cobb County Fire Station 5 we would highly recommend your littur's services for any lattire projects.

Sincerely.

Cobb County Property Magagement,

Allen Kronenberger Property Manager

Cc: Bryan Schroeder

Cald County ...

Fayned the Real



Office Of the DEAN College of Education and Human borders

## UNIVERSITY of NORTH FLORIDA

June 24, 2009

Mr. Tim Baker, AIA, Principal Mr. Carlos Barrios, AIA, Principal Baker Barrios Architects 189 S. Orange Avenue - Suite 1700 Orlando, FL 32801

Dear Messrs, Baker and Barrios:

I would like to express my sincere appreciation to your firm for the excellent work you have done in the design and project management of our new College of Education and Human Services building at UNF. The new facility is all that we had dreamed it would be, and the closeness of the finished product to the original design is uncanny. The communication that your firm established among our College building team, the UNF Facilities Planning Office, Ajax Construction, and your own team was exemplary. You have certainly lived up to your corporate motto, "our business is service."

Tim and Carlos, I further appreciate the direct attention that each of you took in our project. Having had both of you to participate in the early charrettes convinced us all of the full firm's commitment to the project, and, Carlos, your periodic visits to update us and discuss our satisfaction with the project have been greatly appreciated. It has been my privilege to get acquainted with both of you.

There are many features of the building that are impressive. The use of natural lighting, curved hallways, spacious lobbies, and smart design of classrooms are narticularly noteworthy. The balance of glass and brick on the building extension

professional look that is just right for our College.

While there are many persons in your firm who I am sure have success of our work, I would like to call attention to the work of made particular contributions that have been particularly instrument the project:

 Mike Houseman and Jessica Randolph did an exception project. They responded well to special requests, kept to important aspects of the project, and maintained positive with all parties involved. Jessica provided excellent sum and responded to numerous emails throughout the project excellent rapport with our Facilities Planning office, assuphases of the project.

> Frederick H. Schultz. (1881—1 UNF Direc — Jacksonwille, H. 34274-7658 Tel. 994,670 7520 — Exc. 994,620,7527 — www.md-celes/ Equal Opportunity/Equal Access/Affamative Action Institution

"We are very pleased with the work completed by Baker Barrios Architects. They have provided us with a design that is highly functional, yet very appealing. We look forward to working with them on future projects."

Tonia Sellers, Managing Partner Weissman, Nowack, Curry & Wilco, P.C. "After nearly one year of occupancy, the design of our Phase II corporate office and operations center has been proven by the facts that our employees are happy. The building and parking capacity has continued to meet our high volume operations. Designed as a companion building, the site plan, architectural design, and interior plan has continued to exceed our expectations as they relate to high employee morale, our master plan and business operations and corporate image."

Steven Suiter Former Director, Corporate Real Estate/Facilities, Convergys

- Jill Butterworth did an outstanding job in the interior design and selection of
  furnishings. Jill is a true "detail person" and an outstanding expert in her field.
  Her attention to very specific requests we had were especially appreciated. We
  have heard many wonderful comments about the color schemes in the building,
  and the furnishings are absolutely fabulous. The building has a soothing
  ambience that is very well suited to our work and fitting for our instructional
  needs.
- Rod Blakeslee was instrumental in some of our early thinking about furnishings
  and provided exceptional expertise in the design of the lighting in the building.
  The lighting methods selected allow for maximum lighting with a minimal number
  of fixtures and take advantage of the abundant natural lighting that the design of
  the building affords us.
- Wayne Dunkelberger provided us with excellent conceptual ideas and building renderings during the early part of the project. The elevation of the building is perfect for the site, and I am sure Wayne's expertise contributed to the impressive final product.
- Tyler Kirby took expressed appreciable interest in showcasing the project in your corporate materials. We look forward to seeing the work that she does in publicizing our wonderful building.

In sum, I think we can all be proud of the exceptional facility you have provided us. We have been told with some frequency by both campus colleagues and visitors that we have the most attractive building on campus. We always love to hear this, and I am sure that you do as well. Comments of this type are a testimony to the expertise in design and project management provided by Baker-Barrios. It is our good fortune that we selected your firm for this project.

Sincerely,

Larry G. Daniel, Ph. D.

Lamy & Daniel

cc: Zak Ovadia, Director, UNF Facilities Planning



#### Firm Profile

Baker Barrios Architects, Inc., was **incorporated in 1993** in Orlando, Florida with the vision of establishing a legacy based on creative excellence, innovative solutions and long-term relationships. Since its inception, Baker Barrios Architects, Inc. has grown from a local professional design firm in Orlando, Florida to a cohesive network of offices in Tampa and Atlanta.

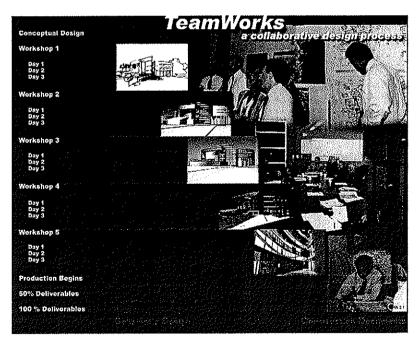
The firm's operating principals, along with our dedicated staff of over 60 professionals provide full-service architectural, interior design and construction administration services. Our staff of well-trained and experience professionals listen to the client's needs and desires, and then translate these goals into a projects design. Baker Barrios Architects, Inc. provides clients with a proven track record in the coordination of production, master planning, visual and creative design, design quality and the provision of quality control while maintaining the project's construction budget. Our high level of involvement and follow-through to the project's completion ensures that the Owner's objectives are met and the integrity of design is maintained even after Owner/Tenant occupancy.

Baker Barrios Architects, Inc. attributes its success to a core philosophy that is carried throughout every aspect of the organization: **Our business is service.** 

#### **Project Management**

Our approach to expediting and executing projects is based on the BBA *Teamworks* concept. The *Teamworks* method relies on the establishment of a strong project leader (PM), Mike Houseman, who serves as the principal point of communication, authority and accountability.

Our *Teamworks* workshops are not a single kick-off session, rather a series of multiple collaborative sessions that nurture creative solutions and interaction with Sumter County, the Fire Services Department, Consultants and the Construction Manager. Beginning at the first "kick-off" session we will work together to begin this process of developing a high level of trust and comfort that enhances the flow of ideas. During this process we brainstorm, discuss, verify, modify, delete and incorporate information into the design of your project. The process is one of always moving forward, shortening the project design duration due to correct decision-making.



In tandem with our *Teamworks* sessions, we utilize our computer generated design, rendering and modeling technologies to incorporate and visually reflect the design decisions made during those workshops. Our clients' planning and project management departments, user groups and other stakeholders as well as the construction manager and consultants find that the *Teamworks* application of those technologies facilitate understanding and decision making. Our software technologies allow all involved in the workshops to clearly understand the project scope, design and building system details that produce more accurate costs and tighter schedules.

This process will be of great benefit in preparing cost models and/or estimates to establish an initial construction budget and to determine whether the design is still within the pre-established budget.